

City Commission
Susan Gottlieb, Mayor

Enbar Cohen
Teri Holzberg
Billy Joel
Michael Stern
Howard Weinberg
Luz Urbáez Weinberg

The City of Aventura



City Manager
Eric M. Soroka, ICMA-CM

City Clerk
Teresa M. Soroka, MMC

City Attorney
Weiss Serota Helfman
Pastoriza Cole & Boniske

APRIL 1, 2014 6 PM

Government Center
19200 West Country Club Drive
Aventura, Florida 33180

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **AGENDA:** Request for Deletions/Emergency Additions
4. **ELECTION OF VICE MAYOR**
5. **SPECIAL PRESENTATIONS**
6. **CONSENT AGENDA:** Matters included under the Consent Agenda are self-explanatory and are not expected to require discussion or review. Items will be enacted by one motion. If discussion is desired by any member of the Commission, that item must be removed from the Consent Agenda and considered separately. If the public wishes to speak on a matter on the consent agenda they must inform the City Clerk prior to the start of the meeting. They will be recognized to speak prior to the approval of the consent agenda.
 - A. **APPROVAL OF MINUTES:**
March 4, 2014 Commission Meeting
March 17, 2014 Workshop Meeting
 - B. **MOTION TO APPROVE APPROPRIATION OF FUNDS IN THE AMOUNT OF \$1,000 FROM THE CITY'S GENERAL FUND FOR THE 2014 ANNUAL SCHOLARSHIP AWARD TO THE ELIGIBLE DR. MICHAEL KROP SENIOR HIGH SCHOOL STUDENT IN ACCORDANCE WITH RESOLUTION 2012-12**
 - C. **MOTION TO ACCEPT THE CITY MANAGER'S REVIEW OF ORDINANCE NO. 2008-08 TRANSPORTATION MITIGATION IMPACT FEE AS CONTAINED IN THE ATTACHED STAFF REPORT**
 - D. **A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA AUTHORIZING THE CITY MANAGER TO EXECUTE THE ATTACHED CONTRACT RENEWAL FOR LANDSCAPE MAINTENANCE WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY ON BISCAYNE BOULEVARD FROM THE OLETA RIVER**

BRIDGE NORTH TO THE MIAMI-DADE/BROWARD COUNTY LINE BY AND BETWEEN THE CITY OF AVENTURA AND THE FLORIDA DEPARTMENT OF TRANSPORTATION; AUTHORIZING THE CITY MANAGER TO TAKE NECESSARY AND EXPEDIENT ACTION TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

- E. A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA DECLARING CERTAIN PROPERTY LISTED UNDER THE ASSETS OF THE CITY AS SURPLUS TO THE NEEDS OF THE CITY; DESCRIBING THE MANNER OF DISPOSAL; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.**

- F. A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, SUPPORTING FULL FUNDING OF THE MIAMI-DADE COUNTY LIBRARY SYSTEM AND THE NORTHEAST REGIONAL LIBRARY OF THE COUNTY LIBRARY SYSTEM; PROVIDING FOR DISTRIBUTION OF RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.**

7. ZONING HEARINGS: QUASI-JUDICIAL PUBLIC HEARINGS – Please be advised that the following items on the Commission's agenda are quasi-judicial in nature. If you wish to object or comment upon any of these items, please inform the Mayor when she requests public comments. An opportunity for persons to speak on each item will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Commission to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for the organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA GRANTING CONDITIONAL USE APPROVAL TO PERMIT HEIGHTS THAT EXCEED 4 STORIES OR 50 FEET; CONDITIONAL USE APPROVAL TO PERMIT DRIVEWAY SEPARATIONS WITH LESS THAN 150 FEET OF LANDSCAPED FRONTAGE; AND CONDITIONAL USE APPROVAL TO PERMIT ALLOCATION OF INTERIOR SPACES OTHER THAN THOSE PERMITTED IN SECTION 31-145(d)(8) OF THE CITY CODE, FOR THE PARK SQUARE NEIGHBORHOOD MIXED USE DEVELOPMENT ON THE SOUTH SIDE OF NE 207 STREET BETWEEN NE 29 AVENUE AND NE 30 AVENUE WITHIN THE TC3, TOWN CENTER NEIGHBORHOOD DISTRICT IN THE CITY OF AVENTURA PROVIDING FOR CONDITIONS OF APPROVAL; PROVIDING FOR AN EFFECTIVE DATE.

8. ORDINANCES: FIRST READING–PUBLIC INPUT: None.

9. ORDINANCES – SECOND READING – PUBLIC HEARING:

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, AMENDING ORDINANCE NO. 2013-04 WHICH ORDINANCE ADOPTED A BUDGET FOR THE 2013/2014 FISCAL YEAR BY REVISING THE 2013/2014 FISCAL YEAR OPERATING AND CAPITAL BUDGET AS OUTLINED IN EXHIBIT “A” ATTACHED HERETO; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS ORDINANCE; PROVIDING FOR AN EFFECTIVE DATE.

10. RESOLUTIONS – PUBLIC HEARING: None.

11. REPORTS

12. PUBLIC COMMENTS

13. OTHER BUSINESS: None.

14. ADJOURNMENT

FUTURE MEETINGS

COMMISSION WORKSHOP	APRIL 17, 2014	9 AM	EXEC. CONFERENCE RM
COMMISSION MEETING	MAY 6, 2014	6 PM	COMMISSION CHAMBER

This meeting is open to the public. In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this meeting because of that disability should contact the Office of the City Clerk, 305-466-8901, not later than two days prior to such proceeding. One or more members of the City of Aventura Advisory Boards may be in attendance and may participate at the meeting. Anyone wishing to appeal any decision made by the Aventura City Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Agenda items may be viewed at the Office of the City Clerk, City of Aventura Government Center, 19200 W. Country Club Drive, Aventura, Florida, 33180. Anyone wishing to obtain a copy of any agenda item should contact the City Clerk at 305-466-8901.



**MINUTES
CITY COMMISSION
March 4, 2014 6 p.m.**

Aventura Government Center
19200 W. Country Club Drive
Aventura, Florida 33180

1. CALL TO ORDER/ROLL CALL: The meeting was called to order by Mayor Susan Gottlieb at 6 p.m. Present were Commissioners Enbar Cohen, Teri Holzberg, Michael Stern, Luz Weinberg, Vice Mayor Howard Weinberg, Mayor Gottlieb, City Manager Eric M. Soroka, City Clerk Teresa M. Soroka and City Attorney David Wolpin. Commissioner Billy Joel was absent. As a quorum was determined to be present, the meeting commenced.

2. PLEDGE OF ALLEGIANCE: Justin Weinberg and Kristy Pinedo-Pimentel.

3. AGENDA: REQUESTS FOR DELETIONS/EMERGENCY ADDITIONS: None.

4. SPECIAL PRESENTATIONS: None.

5. CONSENT AGENDA: There were no requests from the public to address the Commission. A motion to approve the Consent Agenda was offered by Commissioner Holzberg, seconded by Commissioner Weinberg, passed unanimously by roll call vote and the following action was taken:

A. The following minutes were approved:

February 4, 2014 Commission Meeting

B. Resolution No. 2014-10 was adopted as follows:

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA DECLARING CERTAIN PROPERTY LISTED UNDER THE ASSETS OF THE CITY AS SURPLUS TO THE NEEDS OF THE CITY; DESCRIBING THE MANNER OF DISPOSAL; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

C. Resolution No. 2014-11 was adopted as follows:

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA DEDICATING A TWELVE (12) FOOT LONG BY THREE (3) FOOT WIDE EASEMENT TO MIAMI DADE COUNTY FOR THE AVENTURA PARKING EXPANSION PROJECT; PROVIDING FOR RECORDATION; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS

RESOLUTION AND PROVIDING AN EFFECTIVE DATE

- D. Resolution No. 2014-12 was adopted as follows:**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA AWARDED AND LETTING A BID/CONTRACT FOR BID NO. 14-02-18-02, COUNTRY CLUB DRIVE MILLING AND RESURFACING OUTSIDE HALF OF RIGHT-OF-WAY, TO GENERAL ASPHALT COMPANY, INC. AT THE BID PRICE OF \$569,546; AUTHORIZING THE CITY MANAGER TO EXECUTE ASSOCIATED CONTRACTS; AUTHORIZING THE CITY MANAGER TO TAKE NECESSARY AND EXPEDIENT ACTION TO CARRY OUT THE AIMS OF THIS RESOLUTION; PROVIDING FOR THE APPROPRIATION AND ALLOCATION OF FUNDS FOR SAID BID AWARD; AND PROVIDING FOR AN EFFECTIVE DATE.

- E. Resolution No. 2014-13 was adopted as follows:**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, APPROVING THE APPOINTMENT OF A MEMBER TO THE CITY OF AVENTURA ARTS AND CULTURAL CENTER ADVISORY BOARD TO FILL A VACANCY; AND PROVIDING AN EFFECTIVE DATE.

- F. The following motion was approved:**

MOTION TO ACCEPT FOR FILING OF THE COMPREHENSIVE ANNUAL FINANCIAL REPORT (CAFR) FOR THE FISCAL YEAR ENDED SEPTEMBER 30, 2013 AND THE LETTER DATED FEBRUARY 12, 2014 ATTACHED HERETO AS ATTACHMENT "A".

- G. Resolution No. 2014-14 was adopted as follows:**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA AUTHORIZING THE CITY MANAGER TO EXECUTE AND OTHERWISE ENTER INTO THAT AGREEMENT BETWEEN THE CITY OF AVENTURA AND THE UNIVERSITY OF SOUTH FLORIDA BOARD OF TRUSTEES FOR THE UNIVERSITY OF SOUTH FLORIDA'S CENTER FOR URBAN TRANSPORTATION RESEARCH; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

6. **ZONING HEARINGS: QUASI-JUDICIAL PUBLIC HEARINGS** – Please be advised that the following items on the Commission's agenda are quasi-judicial in nature. If you wish to object or comment upon any of these items, please inform the Mayor when she requests public comments. An opportunity for persons to speak on each item will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Commission to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for the organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.

Mr. Wolpin reviewed the quasi-judicial procedures, Mrs. Soroka administered the oath to all those wishing to offer testimony and Mr. Wolpin then read the following resolution by title:

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, APPROVING SIGN VARIANCE FOR POLLO TROPICAL RESTAURANT ON PROPERTY LOCATED AT 20403 BISCAYNE BOULEVARD, CITY OF AVENTURA; PROVIDING AN EFFECTIVE DATE.

A motion for approval was offered by Commissioner Luz Weinberg, and seconded by Vice Mayor Howard Weinberg. Community Development Director Joanne Carr addressed the Commission and entered the staff report into the record. Mayor Gottlieb opened the public hearing. The following individual addressed the Commission: Darrell Johnson, 1239 East Newport Center, Delray Beach, FL, representing the applicant. There being no further speakers, the public hearing was closed. The motion for approval passed unanimously by roll call vote and **Resolution No. 2014-15** was adopted.

7. **ORDINANCES: FIRST READING – PUBLIC INPUT:** Mr. Wolpin read the following ordinance by title:

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, AMENDING ORDINANCE NO. 2013-04 WHICH ORDINANCE ADOPTED A BUDGET FOR THE 2013/2014 FISCAL YEAR BY REVISING THE 2013/2014 FISCAL YEAR OPERATING AND CAPITAL BUDGET AS OUTLINED IN EXHIBIT "A" ATTACHED HERETO; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS ORDINANCE; PROVIDING FOR AN EFFECTIVE DATE.

A motion for approval was offered by Commissioner Stern, and seconded by Commissioner Cohen. Mayor Gottlieb opened the public hearing. There being no speakers, the public hearing was closed. The motion for approval passed unanimously by roll call vote.

8. ORDINANCES: SECOND READING/PUBLIC HEARING:

A. Mr. Wolpin read the following ordinance by title:

AN ORDINANCE OF THE CITY OF AVENTURA, FLORIDA AMENDING SECTION 31-144 "BUSINESS ZONING DISTRICTS" OF THE CITY'S LAND DEVELOPMENT REGULATIONS BY AMENDING SECTION 31-144(C)(5)A., COMMUNITY BUSINESS (B2) DISTRICT TO ALLOW INCREASED LOT COVERAGE FOR SHOPPING CENTERS WITH MORE THAN 1,000,000 SQUARE FEET OF GROSS LEASABLE AREA, WITH HEIGHT NOT GREATER THAN FIVE STORIES AND THAT PROVIDE A CENTRALIZED MULTI MODAL TRANSPORTATION FACILITY WHICH IS ENCLOSED WITHIN A PARKING STRUCTURE AND WHICH MAY BE USED BY CITY TRANSIT PROVIDERS, COUNTY TRANSIT PROVIDERS, ANY OTHER GOVERNMENT ENTITIES REQUESTING USE OF THE FACILITY AND PRIVATE TRANSIT PROVIDERS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR AN EFFECTIVE DATE.

A motion for approval was offered by Commissioner Holzberg and seconded by Commissioner Luz Weinberg. Mayor Gottlieb opened the public hearing. There being no speakers, the public hearing was closed. The motion for approval passed unanimously by roll call vote and **Ordinance No. 2014-04 was enacted.**

B. Mr. Wolpin read the following ordinance by title:

AN ORDINANCE OF THE CITY OF AVENTURA, FLORIDA; AMENDING CHAPTER 1 "GENERAL PROVISIONS" OF THE CITY CODE OF THE CITY OF AVENTURA BY CREATING SECTION 1-17, "RETAIL SALE OF DOGS AND CATS"; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR PENALTY; PROVIDING FOR EFFECTIVE DATE.

A motion for approval was offered by Commissioner Cohen, and seconded by Vice Mayor Weinberg. Mayor Gottlieb opened the public hearing. There being no speakers, the public hearing was closed. The motion for approval passed unanimously by roll call vote and **Ordinance No. 2014-05 was enacted.**

9. RESOLUTIONS – PUBLIC HEARING: None.

10. REPORTS: As presented.

11. PUBLIC COMMENTS: Trevor Nesse, Dr. Michael Krop Senior High School liaison, 3758 NE 208 Street; and Kristy Pinedo Pimentel, niece of Commissioner Luz Weinberg, Gainesville, FL 32612.

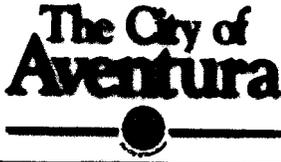
12. OTHER BUSINESS: None.

13. ADJOURNMENT: There being no further business to come before the Commission at this time, after motion made, seconded and unanimously passed, the meeting adjourned at 6:24 p.m.

Teresa M. Soroka, MMC, City Clerk

Approved by the Commission on _____.

Anyone wishing to appeal any decision made by the City Commission with respect to any matter considered at a meeting or hearing will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



MINUTES
CITY COMMISSION
WORKSHOP MEETING
March 17, 2014 9 am

Aventura Government Center
19200 W. Country Club Drive
Aventura, Florida 33180

CALL TO ORDER/ROLL CALL: The meeting was called to order at 9 a.m. by Mayor Susan Gottlieb. Present were Commissioners Enbar Cohen, Teri Holzberg, Billy Joel, Michael Stern, Luz Urbacz Weinberg, Vice Mayor Howard Weinberg (arrived at 9:10 a.m.), Mayor Gottlieb, City Manager Eric M. Soroka, City Clerk Teresa M. Soroka, and City Attorney David M. Wolpin. As a quorum was determined to be present, the meeting commenced. (Some items taken out of order)

City Clerk Teresa M. Soroka announced her plans to retire following the November 2014 election.

- 1. MAST ACADEMY FIU CAMPUS (Vice Mayor Weinberg):**
CITY MANAGER SUMMARY: Consensus to have the City Manager meet with the School Board to obtain fact sheet regarding this proposal.
- 2. COMMUNITY GREEN GARDEN UPDATE:** (City Manager) Mr. Soroka distributed a copy of the news release and rules and application forms, and gave an update on this program.
CITY MANAGER SUMMARY: No action.
- 3. NALEO CONFERENCE:** (Commissioner Luz Weinberg) Commissioner Luz Weinberg requested approval for her attendance at the upcoming travel conference.
CITY MANAGER SUMMARY: Consensus to approve.
- 4. RESOLUTION URGING COUNTY COMMISSION TO RESTORE FULL FUNDING TO THE CONTY LIBRARY DISTRICT:** (Mayor Gottlieb)
CITY MANAGER SUMMARY: Consensus of the Commission to approve and address by formal resolution at the April meeting.

Other items discussed included suggestions to improve the green market, honoring a Wounded Warrior with a proclamation and the City's email policy.

- 5. ADJOURNMENT:** There being no further business to come before the Commission at this time, the meeting adjourned.

Teresa M. Soroka, MMC, City Clerk

Approved by the Commission on _____.

Anyone wishing to appeal any decision made by the City Commission with respect to any matter considered at a meeting or hearing will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

CITY OF AVENTURA

OFFICE OF THE CITY MANAGER

MEMORANDUM

TO: City Commission

FROM: Eric M. Soroka, ICMA-CM, City Manager

DATE: March 3, 2014

SUBJECT: **Motion to Approve Annual Appropriation for Scholarship Award to Krop High School Students**



April 1, 2014 Commission Meeting Agenda Item 6-B

RECOMMENDATION

It is recommended that the City Commission adopt a Motion to approve appropriation of funds in the amount of \$1,000 from the General Fund for the 2014 annual scholarship award to an eligible Krop Senior High School student in accordance with Resolution 2012-12.

BACKGROUND

Resolution No. 2012-12 adopted a policy to establish an annual college scholarship in the amount of \$1,000 for a student residing in Aventura graduating from Dr. Michael M. Krop High School. Section 2 of the Resolution requires the annual approval of the allocation of funds for the scholarship by the City Commission. Therefore, this item has been placed on the Agenda.

If you have any questions, please feel free to contact me.

EMS/act

CCO1837-14

CITY OF AVENTURA
OFFICE OF THE CITY MANAGER

MEMORANDUM

TO: City Commission

FROM: Eric M. Soroka, ICMA-CM, City Manager 

DATE: February 28, 2014

SUBJECT: Review of Ordinance No. 2008-08, Transportation Mitigation Impact Fee

April 1, 2014 City Commission Meeting Agenda Item b-c

RECOMMENDATION

It is recommended that the City Commission adopt a motion to accept the City Manager's review of Ordinance No. 2008-08.

BACKGROUND

Section (f) of Ordinance No. 2008-08 provides that the City Manager shall review the provisions of the Ordinance at least every three years and, if appropriate, make recommendations to the City Commission to revise it. The review has been completed and is attached to this memorandum.

If you have any questions, please feel free to contact me.

CITY OF AVENTURA

CITY MANAGER'S REVIEW OF ORDINANCE NO. 2008-08 TRANSPORTATION MITIGATION IMPACT FEE AS OF JANUARY 1, 2014

I. OVERVIEW

On January 8, 2008, the City Commission passed Ordinance No. 2008-08 establishing a Transportation Mitigation Impact Fee and Schedule for mitigation of transportation impacts by new development. The effective date of Ordinance No. 2008-08 was January 1, 2009. Due to economic conditions on January 1, 2009, the City Commission passed Ordinance No. 2009-4 extending the effective date to April 1, 2009 and further passed Ordinance No. 2009-08 extending the effective date to September 30, 2009.

II. PURPOSE OF THE ORDINANCE

The Ordinance was enacted to support and fund mobility within the City's Transportation Concurrency Exception Area by collecting a transportation mitigation impact fee to allow the expansion, operation and maintenance of the City's Circulator System, also known as the Aventura Express.

III. ADMINISTRATION OF THE ORDINANCE

Section (a) of the Ordinance provides that any application for building permit or development activity shall be subject to the assessment of a transportation mitigation impact fee in the manner and amount set forth in the Ordinance. The schedule of fees is set out in Section (b) and provides the method of calculation and option for developers to provide alternative fee studies. Section (c) provides for exemptions and refunds. Sections (d) and (e) provide for expenditures of impact fees collected and establishment of the fund respectively.

Section (f) of the Ordinance provides that the City Manager shall review the Ordinance at least every three years and, if appropriate, make recommendations to the City Commission to revise it. The first such review shall be no later than January 1, 2011. The City Commission shall consider the City Manager's recommended revision(s) to the Ordinance and decide whether to adopt them.

IV. STATUS AS OF JANUARY 1, 2011 (FIRST REVIEW)

There were no new development to which the impact fee applied during the period September 30, 2009 to January 1, 2011. The need to support mobility within our City remains unchanged. The first review was accepted by motion of the City Commission, adopted on May 3, 2011.

V. STATUS AS OF JANUARY 1, 2014

Since the first review on January 1, 2011, there have been six (6) new developments to which the impact fee has applied. Those developments and the associated impact fee paid are shown in the following table.

Name of Development	Address	Impact Fee Amount	Payment Date
Safra Synagogue Addition	19275 Mystic Point Drive	\$1,243.40	1/1/11
Optima	21400 Biscayne Blvd	\$165,951.40	5/27/11
PNC Bank	2711 NE 187 Street	\$6,625.99	2/29/12
Jared Jewelers	19001 Biscayne Blvd	\$12,958.44	4/10/12
Chase Bank	20880 Biscayne Blvd	\$9,256.00	10/18/12
Echo	3250 NE 188 Street	\$157,156.89	9/30/13

During the period January 1, 2011 to January 1, 2014, the City continues to operate and maintain the Aventura Express shuttle bus service. Monthly usage of the Aventura Express buses, as of December of 2012, was 23,510 riders. The need to support mobility within our City remains unchanged from the date of passage of the Ordinance.

VI. RECOMMENDATION

No revision to the provisions of Ordinance No. 2008-08, as amended by Ordinances Nos. 2009-04 and 2009-08, is recommended as of this review. The next review is scheduled for January 1, 2017.

CITY OF AVENTURA

OFFICE OF THE CITY MANAGER

MEMORANDUM

TO: City Commission

FROM: Eric M. Soroka, ICMA-CM, City Manager

DATE: March 5, 2014

SUBJECT: **Renewal of FDOT Landscape Maintenance Contract for Biscayne Boulevard**



April 1, 2014 City Commission Meeting Agenda Item 6D

RECOMMENDATION

It is recommended that the City Commission adopt the attached Resolution authorizing the renewal of the attached contract with the Florida Department of Transportation (FDOT) for landscape maintenance along Biscayne Boulevard from the Oleta River Bridge to the County line. The original renewal contract was authorized by Resolution 2012-19.

FDOT will reimburse the City in the amount of \$12,670.29 per year.

If you have any questions, please feel free to contact me.

EMS/act

Attachment

CCO1838-14



Florida Department of Transportation

RICK SCOTT
GOVERNOR

1000 NW 111 Avenue
Miami, FL 33172

ANANTH PRASAD, P.E.
SECRETARY

March 4, 2014

Mr. Eric M. Soroka
City Manager
City of Aventura
19200 West Country Club Drive
Aventura, Florida 33180

Description: Turf and Landscape Maintenance Joint
Participation Agreement
Contract No.: AQP 77
Financial No.: 407334-2-78-02

Subject: RENEWAL# 2

Dear Mr. Soroka:

The Agreement referenced above will expire on July 12, 2014. The Department wishes to renew this agreement for a period of one year starting on July 13, 2014 and ending on July 12, 2015. If the City agrees on this renewal, enclosed are 2 (2) new contract renewal documents to execute. Please leave the date blank on the first page and return the executed documents back to the Department before **March 25, 2014**.

Should you have any questions concerning this agreement, please contact me at telephone number (305) 470-5426

Sincerely,

A handwritten signature in black ink, appearing to read "Shany Ianotti". The signature is stylized and includes a horizontal line at the end.

Shany Ianotti
Assistant Project Manager

cc: R. Marrero, A. Perez, K. Al-Said, file.

RESOLUTION NO. 2014-__

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA AUTHORIZING THE CITY MANAGER TO EXECUTE THE ATTACHED CONTRACT RENEWAL FOR LANDSCAPE MAINTENANCE WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY ON BISCAYNE BOULEVARD FROM THE OLETA RIVER BRIDGE NORTH TO THE MIAMI-DADE/BROWARD COUNTY LINE BY AND BETWEEN THE CITY OF AVENTURA AND THE FLORIDA DEPARTMENT OF TRANSPORTATION; AUTHORIZING THE CITY MANAGER TO TAKE NECESSARY AND EXPEDIENT ACTION TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, THAT:

Section 1. The City Manager is hereby authorized to execute the attached Contract Renewal by and between the City of Aventura and the Florida Department of Transportation to provide landscape maintenance services on the Florida Department of Transportation Right-of-way on Biscayne Boulevard from the Oleta River bridge north to the Miami-Dade/Broward County line.

Section 2. The City Manager is hereby authorized to do all things necessary to carry out the aims of this Resolution.

Section 3. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Commissioner ____, who moved its adoption. The motion was seconded by Commissioner _____, and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Howard Weinberg	_____
Commissioner Luz Urbacz Weinberg	_____
Mayor Susan Gottlieb	_____

PASSED AND ADOPTED this 1st day of April, 2014.

SUSAN GOTTLIEB, MAYOR

ATTEST:

TERESA M. SOROKA, MMC
CITY CLERK

APPROVED AS TO LEGAL SUFFICIENCY:

CITY ATTORNEY

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
CONTRACT RENEWAL

375-020-23
CONTRACTS ADMINISTRATION
OGC - 04/06

Contract No.: AQP77 Renewal: (1st, 2nd, etc.) 2nd
Financial Project No(s): 407334-2-78-02
County(ies): Miami-Dade

This Agreement made and entered into this 13 day of July, 2012, by and between the State of Florida Department of Transportation, hereinafter called "Department", and City of Aventura hereinafter called "Contractor".

WITNESSETH:

WHEREAS, the Department and the Contractor heretofore on this _____ day of _____ entered into an Agreement whereby the Department retained the Contractor to perform Maintenance of all Landscape and or turfed areas within the Department's right of way having the limits described be Exhibit "B" of the original contract. ; and

WHEREAS, said Agreement has a renewal option which provides for a renewal if mutually agreed to by both parties and subject to the same terms and conditions of the original Agreement;

NOW, THEREFORE, this Agreement witnesseth that for and in consideration of the mutual benefits to flow each to the other, the parties agree to a renewal of said original Agreement for a period beginning the 13 day of July, 2014 and ending the 12 day of July, 2015 at a cost of \$ 12,670.29.

All terms and conditions of said original Agreement shall remain in force and effect for this renewal.

IN WITNESS WHEREOF, the parties have executed this Agreement by their duly authorized officers on the day, month, and year set forth above.

City of Aventura
Name of Contractor

Contractor Name and Title

BY: _____
Authorized Signature

Name of Surety

City State

By: _____
Florida Licensed Insurance Agent or Date
Attorney-In-Fact (Signature)

Countersigned: _____
Florida Licensed Insurance Agent Date

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

BY: _____
District Secretary or Designee (Signature)

Title: _____

Legal: _____

Fiscal: _____
Approval as to Availability of Funds

Contract No: AQP77
Financial Project No(s): 407334-2-78-02
Project Description: Maintenance of all Landscape and/or turfed areas within the Department's Right of Way, having the limits described on Exhibit "B" of the original contract.

Vendor/Consultant acknowledges and agrees to the following:

Vendor/Consultant :

1. shall utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the Vendor/Consultant during the term of the contract; and
2. shall expressly require any subcontractors performing work or providing services pursuant to the state contract to likewise utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the subcontractor during the contract term.

Company/Firm: City of Aventura

Authorized Signature: _____

Title: _____

Date: _____

Exhibit "B"
Project Limits & Financial Summary

Below are the PROJECT limits and acreage of the areas to be maintained by the CITY under this Agreement.

STATE ROAD	ROAD NAME	FROM	TO
5	Biscayne Boulevard/US-1	Just South of Oleta River Bridge	Miami-Dade/Broward County Line

Item Description	Quantity	# Cycles	Total Agreement Qtys.	Unit Agreement	Total Current Agreement Amount
				Price	
Mowing Small Machine (E104 4 3)	1.863	18	33.534	\$35.00	\$1,173.69
Litter Removal (E110 30)	4.562	18	82.116	\$10.00	\$821.16
Edging & Sweeping (E110 32 1)	5.328	18	95.904	\$10.00	\$959.04
Landscape Maintenance (E 580 3 2)	2.699	18	48.582	\$200.00	\$9,716.40
					\$12,670.29

TOTAL ANNUAL AMOUNT ELIGIBLE FOR REIMBURSEMENT: \$12,670.29

CITY OF AVENTURA

OFFICE OF THE CITY MANAGER

MEMORANDUM

TO: City Commission

FROM: Eric M. Soroka, ICMA-CM, City Manager

DATE: March 11, 2014

SUBJECT: **Resolution Declaring Equipment Surplus**



April 1, 2014 Commission Meeting Agenda Item 6-E

RECOMMENDATION

It is recommended that the City Commission adopt the attached Resolution declaring certain property as surplus to the needs of the Police Department.

If you have any questions, please feel free to contact me.

EMS/aca

Attachment

CCO1839-14

RESOLUTION NO. 2014-__

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA DECLARING CERTAIN PROPERTY LISTED UNDER THE ASSETS OF THE CITY AS SURPLUS TO THE NEEDS OF THE CITY; DESCRIBING THE MANNER OF DISPOSAL; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Manager desires to declare certain property as surplus to the needs of the City; and

WHEREAS, Ordinance No. 2000-09 provides that all City-owned property that has been declared surplus cannot be disposed of prior to the preparation and formal approval of a resolution by the City Commission.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, THAT:

Section 1. Recitals Adopted. The above recitals are hereby confirmed and adopted herein.

Section 2. The property listed on Exhibit "A" has been declared surplus and is hereby approved for disposal.

Section 3. The City Manager is authorized to dispose of the property listed on Exhibit "A" through a public auction, sale, trade-in, transfer to other governmental agency or, if of no value, discarded.

Section 4. The City Manager is hereby authorized to do all things necessary to carry out the aims of this Resolution.

Section 5. This Resolution shall become effective immediately upon its adoption.

The foregoing resolution was offered by Commissioner _____, who moved its adoption. The motion was seconded by Commissioner _____, and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Luz Urbáez Weinberg	_____
Commissioner Howard Weinberg	_____
Mayor Susan Gottlieb	_____

PASSED AND ADOPTED this 1st day of April, 2014.

SUSAN GOTTLIEB, MAYOR

ATTEST:

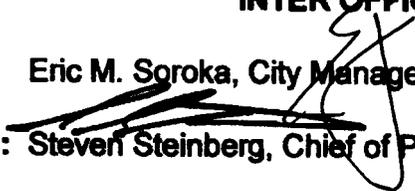
TERESA M. SOROKA, MMC
CITY CLERK

APPROVED AS TO LEGAL SUFFICIENCY:

CITY ATTORNEY

**CITY OF AVENTURA
POLICE DEPARTMENT
INTER OFFICE MEMORANDUM**

TO: Eric M. Sgroka, City Manager

FROM: ~~Steven Steinberg, Chief of Police~~ 

DATE: 11 March 2014

SUBJECT: Surplus Property

I would like to have the attached listed items, owned by the City of Aventura, declared Surplus Property as per City of Aventura APDP, Chapter 6, Subsection 5, Page 1, as these items have become inadequate for public purposes:

13 – Office chairs; cloth covered

All of these chairs have outlived their usefulness and need to be disposed of. All of these chairs have been replaced with new chairs for the affected employee.

**CITY OF AVENTURA
POLICE DEPARTMENT
INTER OFFICE MEMORANDUM**

TO: Eric M. Soroka, City Manager

FROM: ~~Eric M. Soroka, City Manager~~
Steven Steinberg, Chief of Police

DATE: 17 March 2014

SUBJECT: Surplus Property

I would like to have the attached listed items, owned by the City of Aventura, declared Surplus Property as per City of Aventura APDP, Chapter 6, Subsection 5, Page 1, as these items have become inadequate for public purposes:

Positron System – as noted on the included memo from Capt. Labombarda

3/17/14

CITY OF AVENTURA

POLICE DEPARTMENT

MEMORANDUM

TO: Commander Fogelgren

FROM: Captain Labombarda

SUBJECT: Surplus Property Request

Date: March 12, 2014

Commander,

Please have the following equipment deemed surplus property so it can be sold or otherwise discarded as appropriate after the installation of the new 9-1-1 system.

Positron Viper 9-1-1 System to include:

Rack

Servers

Routers

Computers

Monitors

Switches

Terminal Equipment

Computers

Monitors

Interface Devices

**CITY OF AVENTURA
POLICE DEPARTMENT
INTER OFFICE MEMORANDUM**

TO: Eric M. Soroka, City Manager
FROM: ~~Steven Steinberg, Chief of Police~~
DATE: 18 March 2014
SUBJECT: Surplus Property

I would like to have the attached listed items, owned by the City of Aventura, declared Surplus Property as per City of Aventura APDP, Chapter 6, Subsection 5, Page 1, as these items have become inadequate for public purposes:

1 – Vehicle as per attached e-mail from Cmdr. Fogelgren

Steven Steinberg

From: Deidre Fogelgren
Sent: Tuesday, March 18, 2014 8:38 AM
To: Steven Steinberg
Subject: Surplus Veh

Please surplus the below vehicle:

2008	2FAFP71V98X140740	Ford	Crown Victoria		
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Deidre L. Fogelgren
Commander
Aventura Police Department
19200 W Country Club Dr
Aventura, Florida 33180
305.466.8977

This transmission may contain restricted or privileged information, which is intended only for use by the individual or entity to which the transmission is addressed. It should be treated as Law Enforcement Sensitive / For Official Use. If you received this transmission in error, please notify the sender immediately. Further dissemination should be limited to a minimum, consistent with the purpose of supporting effective law enforcement and security of installation personnel, equipment, and facilities.

RESOLUTION NO. 2014-_____

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, SUPPORTING FULL FUNDING OF THE MIAMI-DADE COUNTY LIBRARY SYSTEM AND THE NORTHEAST REGIONAL LIBRARY OF THE COUNTY LIBRARY SYSTEM; PROVIDING FOR DISTRIBUTION OF RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Aventura has been a member in good standing of the Miami-Dade County Library special taxing district system since the incorporation of the City in 1995; and

WHEREAS, following the destruction of the County's Northeast Regional Library(the "Northeast Library") by Hurricane Wilma in 2005, the City has housed the County's temporary Northeast Library on the second floor of City Hall, and has not imposed any library space rental charge to the County;

WHEREAS, after much delay in construction activities, it is expected that the County will complete the construction of the new Northeast Library at the site of the former library in Aventura during the summer of 2014 ; and

WHEREAS, it is essential that the new Northeast Library be operated in a manner which meets the public library needs of all Northeast Dade County residents from the first day of operation and gets off to a very strong start in the provision of resources and personnel, so that the long- awaited library will be successful and well received ; and

WHEREAS, the City has been advised that there is wide- spread concern among the residents and municipalities of Miami- Dade County that County Public Library System funding has diminished in recent years, and that residents , students and businesses throughout the County may have been harmed by the diminished level of public library funding ; and

WHEREAS, a healthy public library system is critically important to promote literacy and cultural awareness , and fosters the joy of reading and lifelong learning; and

WHEREAS, public surveys recently conducted by the Miami- Dade County Mayor's Office , as part of the Mayor's Blue Ribbon Task Force , demonstrate that there is significant public support for the public library system and confirms a willingness of the public to pay to maintain the level of library service that is needed for a healthy library system.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA:

Section 1: Support .

- A. That the City Commission of the City of Aventura, Florida, hereby requests the provision of full and adequate funding by the County to assure that the new Northeast Library gets off to a very strong start in resources and library personnel when it opens its doors in the upcoming summer months of 2014.

- B. That the City Commission respectfully urges the Miami- Dade County Mayor and Board of County Commissioners to fully and adequately fund the Miami- Dade County Public Library System in a manner that assures that the entire countywide library system will return to an enhanced level of service.

Section 2: That the City Clerk is hereby requested to provide copies of this Resolution to the Miami- Dade County League of Cities, the Miami- Dade County Commission, Miami- Dade County Mayor Gimenez, and any other interested parties.

Section 3. That this Resolution shall become effective immediately upon its passage and adoption by the City Commission.

The foregoing Resolution was offered by Commissioner _____, who moved its adoption. The motion was seconded by Commissioner _____, and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Luz Urbàez Weinberg	_____
Commissioner Howard Weinberg	_____
Mayor Susan Gottlieb	_____

PASSED AND ADOPTED this 1st day of April, 2014.

Susan Gottlieb, Mayor

Attest:

Teresa M. Soroka, MMC
City Clerk

Approved as to Form and Legal Sufficiency:

City Attorney

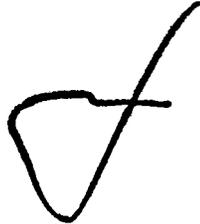
CITY OF AVENTURA

COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM

TO: City Commission

FROM: Eric M. Soroka, ICMA-CM
City Manager 

BY: Joanne Carr, AICP 
Community Development Director 

DATE: March 18, 2014

SUBJECT: Request of Aventura Land Ventures LLC., for Conditional Use approval to (1) permit uses that exceed a height greater than 4 stories or 50 feet; (2) permit driveway separations less than 150 feet of landscaped frontage and (3) permit allocation of interior spaces other than those permitted in Section 31-145(d)(8) of the City Code, all for a neighborhood mixed use development in the TC3, Town Center Neighborhood District, on property located on the south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue, City of Aventura (02-CU-14)

April 1, 2014 City Commission Meeting Agenda Item 7

RECOMMENDATION

It is recommended that the City Commission:

1. Approve the request for Conditional Use approval to permit uses that exceed a height of 4 stories or 50 feet; and
2. Approve the request for Conditional Use approval to permit driveway separations with less than 150 feet of landscaped frontage; and
3. Approve the request for Conditional Use approval to permit allocation of interior spaces other than those permitted in Section 31-145(d)(8) of the City Code

for the neighborhood mixed-use development in the TC3, Town Center Neighborhood District, on vacant property on the south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue, City of Aventura, with the following conditions:

1. The applicant shall obtain building permits for all buildings within the proposed development within 24 months of the date of the approving resolution, failing which this approval shall be void. The applicant may request one six month extension of time to obtain building permits and the City Commission may, by resolution or motion, grant such extension of time upon a showing of good cause by the applicant.
2. No Temporary Certificate of Occupancy or final Certificate of Occupancy shall be issued for any individual building within the development until such time as building permits for all buildings within the development have been issued by the City and construction of those buildings has commenced, provided that the City Manager is authorized to release this condition if the applicant demonstrates to the City Manager's satisfaction that this condition will prevent financing of the development components.
3. No building permit will be issued by the City for the residential/general office building portion of this development until the City has issued building permits for the west garage/medical office component and the City has issued building permits for either the assisted living facility or the hotel component.
4. Plans shall substantially comply with those submitted, as follows:
 - "Park Square Aventura", Cover Sheet, prepared by Zyscovich Architects, dated March 18, 2014.
 - "Park Square Aventura", Sheet G-00, Location Map and Index, prepared by Zyscovich Architects, dated, signed and sealed March 18, 2014.
 - "Park Square Aventura", Sheet A-00, Renderings, prepared by Zyscovich Architects, dated, signed and sealed March 18, 2014.
 - "Park Square Aventura", Sheet A-01, Site Data Information, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-02, Site Setback Diagram, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-03, Off-Site Sketch, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-10, Ground Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-11, Mezzanine Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-12, Second Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-13, Third Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-14, Fourth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
 - "Park Square Aventura", Sheet A-15, Fifth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.

- “Park Square Aventura”, Sheet A-16, Sixth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-17, Seventh Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-18, Eighth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-19, Ninth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-20, Tenth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, A-21, Eleventh and Twelfth Floor Plans, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-22, Roof Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-30, Overall North and East Elevation, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-31, Overall South and West Elevation, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-32, East Building Res. Cross Sections, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet LT-1, Tree Management Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LH-1, Site Hardsurface Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LH-2, Site Hardsurface Schedule, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LL-1, Site Lighting Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LL-2, Site Lighting Schedule, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LP-1, Landscape Plan, Ground Level, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LP-2, Landscape Plan, Upper Levels, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura” Sheet 1 of 1, Boundary and Topographic Survey, prepared by Fortin, Leavy, Skiles, Inc., dated 7/14/06, updated 2/25/14.
- “Park Square Aventura”, Sheet C-2.0, Notes & Specifications, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
- “Park Square Aventura”, Sheet C-3.0, Overall Site Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
- “Park Square Aventura”, Sheet C-3.5, Off Site Signage & Striping Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
- “Park Square Aventura”, Sheet C-4.0, Preliminary Grading & Drainage Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.

- “Park Square Aventura”, Sheet C-5.0, Overall Utility Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-5-1 through C-5.4, Water Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-5.5, Sanitary Sewer Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-9.0, Vehicular Circulation Plan, prepared by Langan, dated 3/5/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-10.0, Easement & Right of Way Dedication Plan, prepared by Langan, dated 12/12/13, revised 3/12/14, signed and sealed.
5. Any discontinuation of the approved conditional use for a period of 180 consecutive days shall constitute abandonment and shall rescind the approval of the conditional use.
 6. Prior to issuance of a building permit for the proposed development, the applicant shall:
 - (i) provide to the City a recorded copy of a Unity of Title or Covenant in Lieu of Unity of Title, in form satisfactory to the City Manager and City Attorney, to combine all parcels comprising this development into a single building site, and
 - (ii) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded copy of the dedication to the City of required widenings for roads and sidewalks around the perimeter of the site, and
 - (iii) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded copy of a Declaration of Restrictive Covenants for use of the shared parking and for operation of a valet service, as presented in the approved plans and studies, and
 - (iv) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded agreement between the owner and the adjacent property owners to the east and west for installation and maintenance of street trees indicated on the landscape plans, and
 - (v) provide to the City, a recorded copy of this Resolution, and
 - (vi) fulfill all conditions of City of Aventura Resolution No. 2006-61 regarding the abandoned rights of ways and alleys within the development parcel, including payment to the City of the proffered sum of \$750,000.00 as an impact offset for the City’s abandonment of these rights of ways and alleys, and
 - (vii) obtain a Public Works Permit from the City’s Community Services Department for all planned improvements in the public right of way.

7. Prior to issuance of a Certificate of Occupancy or Temporary Certificate of Occupancy for any of the proposed buildings, the applicant shall:

(i) provide to the City a recorded copy of all required easements for utilities; and

(ii) relocate the gate currently located at the easterly termination of NE 205 Street further to the east into the driveway for the Aventura Turnberry Jewish Center, and

(iii) provide to the City a recorded copy of the easement to the owner of the property to the south for the relocated driveway access to its site from NE 205 Street lying within this property, and

(iv) complete all roadway improvements, to the satisfaction of the City Manager, on NE 29 Avenue, 30 Avenue, NE 205 Street and NE 207 Street and at the intersections of NE 207 Street and Biscayne Boulevard and NE 209 Street and Biscayne Boulevard, as shown on the approved plans and as described in the approved Traffic Study entitled "Park Square at Aventura" prepared by David Plummer and Associates.

THE REQUESTS

The applicant, Aventura Land Ventures LLC, is requesting the following:

1. Conditional Use approval pursuant Section 31-145(d)(4)b. of the City Code to permit uses that exceed the height limitations of Section 31-145(d)(6) of the City Code; and
2. Conditional Use approval pursuant to Section 31-145(d)(4)i. of the City Code to permit driveway separations with less than 150 feet of landscaped frontage; and
3. Conditional Use approval pursuant to Section 31-145(d)(4)f. of the City Code to permit allocations of interior spaces for mixed use structures other than as set forth in Section 31-145(d)(8) of the City Code

for vacant property located on the south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue, City of Aventura (See Exhibit #1 for Letter of Intent)

BACKGROUND

OWNER OF PROPERTY

Aventura Land Ventures LLC

APPLICANT

Aventura Land Ventures LLC

ADDRESS OF PROPERTY

south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue, City of Aventura

See Exhibit #2 for Location Plan

LEGAL DESCRIPTION

See Exhibit #3 for Legal Description

EXISTING ZONING

TC3, Town Center Neighborhood District

FUTURE LAND USE DESIGNATION

Town Center

Zoning –

Subject property:	TC3	Town Center Neighborhood District
Property to the North:	OP	Office Park District
Property to the South:	CF	Community Facilities District
Property to the West:	B2	Community Business District
Property to the East:	RMF3	Multifamily Medium Density Residential District

Existing Use –

Subject property:	Vacant
Property to the North:	Office Buildings
Property to the South:	Synagogue and School
Property to the West:	Commercial Plaza
Property to the East:	Residential Condominiums

Future Land Use Designation - According to the City of Aventura Comprehensive Plan, the following properties are currently designated as follows:

Subject property:	Town Center
Property to the North:	Business and Office
Property to the South:	Business and Office
Property to the East:	Medium-High Density Residential
Property to the West:	Business and Office

The Site - The subject site is a 7.391 acre vacant parcel located on the south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue, City of Aventura. No municipal addresses have been assigned as of the date of writing of this report.

History - The site is comprised of 77 lots and 2 tracts on previous plats and several unopened road allowances and alleyways on those plats. The unopened road allowances and alleyways were abandoned by Resolution No. 2006-61 passed by the City Commission on October 3, 2006, with several conditions that must be fulfilled, as proffered by the applicant, prior to issuance of a building permit. The entire 7.391 acres was designated as Town Center future land use by Ordinance No. 2014-02 and was zoned TC3, Town Center Neighborhood District by Ordinance No. 2014-03. Both of these ordinances were passed by the City Commission on February 4, 2014.

The Project – The applicant has submitted an application for Administrative Site Plan Approval to develop a neighborhood mixed use project following the criteria of the TC3,

Town Center Neighborhood District. The development is centered along a main drive running south from NE 207 Street to NE 205 Street with connecting east/west internal drives, a private park fronting on NE 207 Street and contains the following structures:

1. A 10 story, 116 foot tall hotel with 230 rooms, restaurant spaces on the ground floor and amenities on the second floor, and
2. A 7 story, 103 foot tall general office building with retail uses on the ground floor, connected to a 12 story, 129 foot tall residential building with 134 units, including 4 2-story townhomes facing NE 30 Avenue, 4 levels of parking under the residential units and retail spaces on the ground floor on the west elevation along the main internal north/south driveway, and
3. A 10 story, 117 foot tall building on the west side of the property with retail space on the ground floor, 6 levels of parking and 3 levels of medical office space on top of the parking garage levels, and
4. A 10 story, 109 foot tall Assisted Living Facility with 200 beds and amenities.

The applicant has advised that the development is not planned to be constructed in phases. The applicant has agreed to the condition that building permits for the four development components described in 1., 2., 3. and 4. above will be obtained within 24 months of the approving resolution and that no temporary or final certificate of occupancy will be issued by the City for any individual building until such time as building permits have been issued for all structures within the development and construction of those buildings has commenced. The condition regarding issuance of certificates of occupancy may be released by the City Manager if the applicant demonstrates, to the City Manager's satisfaction, that this condition will prevent financing of the development components. The applicant has further agreed to the condition that no building permit will be issued by the City for the residential/general office building portion of this development until the City has issued building permits for the west garage/medical office building component and for either the Assisted Living Facility or the hotel component.

The Administrative Site Plan Approval application is under review by City staff. The administrative approval is subject to approval by the City Commission of the requested conditional uses.

ANALYSIS

Citizen Comments – As of the date of writing of this report, the Community Development Department has received no written citizen comments about this application.

Community Development Department Analysis – The property is located in the TC3, Town Center Neighborhood District. The project has been designed to comply

with the district regulations using a mix of residential and non-residential uses. The non-residential uses include, as required by the zone, a minimum of 20,000 square feet per acre of assisted living facility and indoor and/or outdoor commercial recreation uses. The residential to non-residential ratio, at 1:217, is lower than the maximum 1:3.5 ratio permitted by the district regulations. The hotel, at 200 rooms and 406 square feet per room, exceeds the required minimum of 180 rooms and exceeds the required hotel room size of 400 square feet. The development exceeds the minimum lot size, exceeds the minimum open space requirement, and meets and/or exceeds the minimum building setbacks of the zone, including the requirement that all any part of the structure within 50 feet of the property boundary is the same or lower height than the existing adjacent residential development. Lot coverage is lower than the maximum lot coverage permitted. The residential density, at 18 dwelling units per acre, is lower than the maximum of 20 dwelling units per acre permitted and the non-residential intensity, at 479,568 square feet, is lower than the maximum of 643,908 square feet permitted. All residential units are accessible to the outside via an entry lobby that does not require residents to pass through a leasable commercial space. The residential unit mix is 45 1-bedroom units ranging from 900 to 972 square feet, 78 2-bedroom units ranging from 1121 to 1733 square feet and 11 3-bedroom units ranging from 1427 to 1519 square feet. These unit sizes meet and/or exceed the minimum required by Code.

Parking is provided in two parking structures; one on the east side under the residential building and one on the west side under the medical office levels. There are also 33 surface parking spaces throughout the project. A total of 1285 spaces are required by Code based on the square footage of the various uses. 1088 spaces are provided on site based on a shared parking analysis. The City's Traffic Engineering Consultant has reviewed and approved the shared parking study. The applicant will be required to enter into a Covenant restricting the size, mix and location of uses as required by Section 31-171(12)b. of the City Code.

The development plan does not meet the maximum height of 4 stories or 50 feet; does not meet the required driveway separations of at least 150 feet of landscaped frontage and does meet the design criteria for allocation of interior spaces which allows offices and medical offices only on the ground and second floors of buildings. Section 31-145(4)b., f. and i. of the City Code provides that greater height, reduced driveway separation and alternate allocation of interior spaces may be approved as conditional uses.

Request #1: Conditional Use approval pursuant Section 31-145(d)(4)b. of the City Code to permit uses that exceed the height limitations of Section 31-145(d)(6) of the City Code.

The TC3 zoning district height limit is 4 stories or 50 feet. The applicant is requesting a height of 7 stories and 103 feet for the general office building, a height of 10 stories and 109 feet for the assisted living facility, a height of 10 stories and 116 feet for the hotel, 10 stories and 117 feet for the west parking and medical office structure and a height of 12 stories and 129 feet for the residential building.

Criteria

The guidelines for approval of conditional uses as required by Section 31-73(c) of the City's Land Development Regulation states:

"General Standards of review. In addition to the standards set forth in these LDRs for the particular use, all proposed conditional uses shall meet each of the following standards:"

(a) The proposed use shall be consistent with the comprehensive plan.

The proposed use is consistent with the goals and objectives of the Comprehensive Plan, specifically the Town Center future land use designation. This property was designated as Town Center by Ordinance No. 2014-02 passed on February 4, 2014. The mix of residential and non-residential uses is consistent with this future land use category.

(b) The establishment, maintenance or operation of the proposed use shall not be detrimental to or endanger the public health, safety or general welfare.

The establishment, maintenance or operation of the proposed use will not be detrimental to or endanger the public health, safety or general welfare. The proposed uses will provide a vibrant mix of uses essential to a Town Center. The proposed assisted living facility and the indoor and/or outdoor commercial recreation uses will address an identified need in the City that is geared to enhance the health and general welfare of the City's residents.

(c) The proposed use shall be consistent with the community character of the immediate neighborhood of the proposed use.

The proposed use is consistent with the community character of the immediate neighborhood. The property is surrounded by a mix of uses, those being, a religious facility and school, residential single family homes and condominiums, office buildings and a commercial plaza. The proposed mix of uses in the Town Center will complement the neighborhood.

(d) Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, shall exist at the City's adopted levels of service, or will be available concurrent with demand as provided for in the requirements of these LDRs.

Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, either exist at the City's adopted levels of service or will be available concurrent with demand.

(e) Adequate measures exist or shall be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets.

Adequate measures will be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets. The applicant has submitted a Traffic Study which has been reviewed and approved by the City's Traffic Engineering Consultant. That study recommends improvements to both NE 207 Street and NE 30 Avenue and to the intersections of NE 207 Street and Biscayne Boulevard and NE 209 Street and Biscayne Boulevard. Those improvements are required prior to issuance of a certificate of occupancy or temporary certificate of occupancy for any of the proposed buildings. The applicant has also submitted a Shared Parking Analysis that has been reviewed and approved by the City's Traffic Engineering Consultant.

(f) The establishment of the conditional use shall not impede the development of surrounding properties for uses permitted in the zoning district.

The establishment of the conditional use will not impede the development of surrounding properties for uses permitted in the zoning district.

(g) The design of the proposed use shall minimize adverse effects, including visual impacts, of the proposed use on adjacent property through the use of building orientation, setbacks, buffers, landscaping and other design criteria.

The buildings have been designed to comply with the Town Center Design Criteria requirement that any part of a structure on the Town Center site that is within 50 feet of the property boundary is the same or lower height as the existing adjacent residential development. There is a private park proposed to the north of the hotel building that will provide a community amenity. The retail spaces are oriented to the interior of the Town Center so that there will be no retail spaces directly facing adjacent residential units. Each building has a unique architectural design to enhance the visual impact.

Request #2: Conditional Use approval pursuant to Section 31-145(d)(4)i. of the City Code to permit driveway separations with less than 150 feet of landscaped frontage.

Section 31-172 of the City Code requires that driveways for multifamily and non-residential parcels be separated by no less than 150 feet of landscaped frontage. Section 31-145(d)(4)i. permits reduced separation of the driveways if approved as a conditional use, on the conditions that (i) the landscaping for the total project site exceeds the minimum requirements of the Code and (ii) that traffic studies indicate that the lesser distance between driveways does not constitute a safety hazard to either vehicular or pedestrian traffic.

The landscaping for the total project site does exceed the minimum requirements of the City Code. A minimum of 35%, or 112,684 square feet, of open space is required for this site, where 116,544 square feet of open space is provided. The City's Engineering Consultant and Traffic Engineering Consultant have reviewed the proposed separations and made recommendations for traffic circulation, signage and markings to ensure that these separations will not be a safety hazard to vehicular or pedestrian traffic. Those

recommendations have been incorporated into the project plans attached to this staff report.

There are ten driveway accesses to the project site from adjacent public roads. Five of these driveway separations do not meet the required 150 foot separation, shown in yellow highlight on Exhibit #4 to this report. They are:

1. Separation of 135'11" between the south emergency access driveway at the southeast limit of the property on NE 30 Avenue and the existing driveway into Aventura Turnberry Jewish Center, and
2. Separation of 110'3" between the drop off in-and-out driveways on NE 29 Avenue for the assisted living facility, and
3. Separation of 96'2" between the drop off in-and-out driveways on NE 29 Avenue for the medical offices, and
4. Separation of 32'10" between the south end of the north/south internal driveway and the loading area for the assisted living facility on NE 205 Street, and
5. Separation of 20'8" between the west end of the east/west internal driveway and the hotel loading area on NE 29 Avenue.

Criteria

The guidelines for approval of conditional uses as required by Section 31-73(c) of the City's Land Development Regulation states:

"General Standards of review. In addition to the standards set forth in these LDRs for the particular use, all proposed conditional uses shall meet each of the following standards:"

(h) The proposed use shall be consistent with the comprehensive plan.

The proposed use is consistent with the goals and objectives of the Comprehensive Plan, specifically the Town Center future land use designation. This property was designated as Town Center by Ordinance No. 2014-02 passed on February 4, 2014. The mix of residential and non-residential uses is consistent with this future land use category.

(i) The establishment, maintenance or operation of the proposed use shall not be detrimental to or endanger the public health, safety or general welfare.

The establishment, maintenance or operation of the proposed use will not be detrimental to or endanger the public health, safety or general welfare. The proposed driveway separations have been reviewed and approved by the City's Consultants.

(j) The proposed use shall be consistent with the community character of the immediate neighborhood of the proposed use.

The proposed use is consistent with the community character of the immediate neighborhood.

(k) Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, shall exist at the City's adopted levels of service, or will be available concurrent with demand as provided for in the requirements of these LDRs.

Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, either exist at the City's adopted levels of service or will be available concurrent with demand.

(l) Adequate measures exist or shall be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets.

Adequate measures will be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets. The applicant has submitted a Traffic Study which has been reviewed and approved by the City's Traffic Engineering Consultant. That study recommends improvements to both NE 207 Street and NE 30 Avenue and to the intersections of NE 207 Street and Biscayne Boulevard and NE 209 Street and Biscayne Boulevard. Those improvements are required prior to issuance of a certificate of occupancy or temporary certificate of occupancy for any of the proposed buildings. The applicant has also submitted a Shared Parking Analysis that has been reviewed and approved by the City's Traffic Engineering Consultant.

(m) The establishment of the conditional use shall not impede the development of surrounding properties for uses permitted in the zoning district.

The establishment of the conditional use will not impede the development of surrounding properties for uses permitted in the zoning district.

(n) The design of the proposed use shall minimize adverse effects, including visual impacts, of the proposed use on adjacent property through the use of building orientation, setbacks, buffers, landscaping and other design criteria.

The driveways have been designed with proper sight triangles and sight distances. All landscaping has been designed so it will not interfere with these sight distances.

Request #3: Conditional Use approval pursuant to Section 31-145(d)(4)f. of the City Code to permit allocations of interior spaces for mixed use structures other than as set forth in Section 31-145(d)(8) of the City Code.

Section 31-145(d)(8) provides for a specific allocation of interior spaces for mixed-use structures. Specifically, it states that retail stores, personal services, banks and financial services, indoor commercial recreation uses, restaurants and coffee houses, schools, nursery schools and child care centers are allowed only on the ground floor or

mixed-use buildings. Offices and medical offices are allowed only on the ground and second floors. Residential uses are allowed only on the second and higher floors. Conditional use approval may be granted to authorize a waiver from this interior space allocation requirement.

This criteria exists in all of our Town Center zoning districts. The original purpose was for mixed-use buildings that had vertical integration of non-residential and residential uses and was intended so that the retail, personal services and office uses were not located above the residential uses as this would cause a disturbance to the residents in those units. In this project, the non-residential uses and residential uses are in separate structures, except for retail spaces on the ground floor.

The proposed offices on the second to seventh floors of the east office building and the proposed offices on the eighth, ninth and tenth floors of the west parking/office building do not comply with this design criteria and require conditional use approval.

Criteria

The guidelines for approval of conditional uses as required by Section 31-73(c) of the City's Land Development Regulation states:

"General Standards of review. In addition to the standards set forth in these LDRs for the particular use, all proposed conditional uses shall meet each of the following standards:"

(o) The proposed use shall be consistent with the comprehensive plan.

The proposed use is consistent with the goals and objectives of the Comprehensive Plan, specifically the Town Center future land use designation. This property was designated as Town Center by Ordinance No. 2014-02 passed on February 4, 2014. The mix of residential and non-residential uses is consistent with this future land use category.

(p) The establishment, maintenance or operation of the proposed use shall not be detrimental to or endanger the public health, safety or general welfare.

The establishment, maintenance or operation of the proposed use will not be detrimental to or endanger the public health, safety or general welfare. The proposed offices on floors higher than ground and second floors are located in separate buildings from the residential uses.

(q) The proposed use shall be consistent with the community character of the immediate neighborhood of the proposed use.

The proposed use is consistent with the community character of the immediate neighborhood.

(r) Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, shall exist at the City's adopted levels of service, or will be available concurrent with demand as provided for in the requirements of these LDRs.

Utilities, roadway capacity, drainage and other necessary public facilities, including police, fire and emergency services, either exist at the City's adopted levels of service or will be available concurrent with demand.

(s) Adequate measures exist or shall be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets.

Adequate measures will be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets. The applicant has submitted a Traffic Study which has been reviewed and approved by the City's Traffic Engineering Consultant. That study recommends improvements to both NE 207 Street and NE 30 Avenue and to the intersections of NE 207 Street and Biscayne Boulevard and NE 209 Street and Biscayne Boulevard. Those improvements are required prior to issuance of a certificate of occupancy or temporary certificate of occupancy for any of the proposed buildings. The applicant has also submitted a Shared Parking Analysis that has been reviewed and approved by the City's Traffic Engineering Consultant.

(t) The establishment of the conditional use shall not impede the development of surrounding properties for uses permitted in the zoning district.

The establishment of the conditional use will not impede the development of surrounding properties for uses permitted in the zoning district.

(u) The design of the proposed use shall minimize adverse effects, including visual impacts, of the proposed use on adjacent property through the use of building orientation, setbacks, buffers, landscaping and other design criteria.

The non-residential and residential uses are located in separate buildings within the overall project. The proposed office uses on floors higher than ground and second floors will minimize adverse effects through this design orientation.



BERCOW RADELL & FERNANDEZ
ZONING, LAND USE AND ENVIRONMENTAL LAW

DIRECT LINE: 305-377-6238
E-MAIL: mmarrero@brzoninglaw.com

VIA FACSIMILE AND E-MAIL

March 12, 2014

Exhibit #1
02-CU-14

Ms. Joanne Carr
Community Development Director
City of Aventura
19200 West Country Club Drive, 4th Floor
Aventura, Florida 33180

Re: Updated Letter of Intent - Conditional Use and Site Plan Approval for Waterways Town Square

Dear Joanne:

This law firm represents Aventura Land Ventures, LLC (the "Applicant"), with regard to an application to approve certain conditional uses and a site plan for the Waterways Town Square project (the "Project"). The Applicant seeks to develop the assemblage of properties at the SW corner of NE 207 Street and 30th Avenue (the "Property") for the Project.

The Applicant has acquired the Property, which was the subject of prior approvals for City Place at Aventura. The prior project included a mix of residential and commercial uses and remains zoned B2 and RMF3A. At the time of the drafting, the Applicant is still awaiting final Commission approval for a rezoning of the Property to the newly adopted TC3 zoning district. However, the site plan submission assumes that the TC3 zoning will be in place and has been prepared with that in mind. Should the TC3 zoning not be adopted, major changes to the site plan submission will be required.

The Applicants seeks to develop a true mixed use project, with a focus on some uses that have been identified as desirable uses by the Aventura community. These include a high quality Assisted Living Facility and a retail entertainment area, as well as a hotel, other retail uses and some residential units.

In addition to site plan approval, the Applicant is seeking conditional use approval from the City for height that exceed four (4) stories in height as some of the proposed structures on the Property are proposed at twelve, ten and seven stories. Additionally, the Applicant is seeking a conditional use approval regarding the allocation of interior spaces other than in the manner set forth in TC3 to permit

Offices and medical offices above the ground and second floors. Finally, the Applicant is seeking to permit driveway separations with less than 150 feet of landscaped frontage. Pursuant to the City's Land Development Regulations, the following standards should be considered when reviewing a request for conditional use approval:

(1) The proposed use shall be consistent with the Comprehensive Plan.

The application is consistent with the goals and objectives of the Comprehensive Plan, specifically the Town Center designation. The Applicant's property is currently not designated as a Town Center on the Comprehensive Plan Future Land Use Map. However, the Applicant is currently seeking such an amendment.

(2) The establishment, maintenance or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare;

The proposed mixed-use development will not be detrimental to or endanger public health, safety or general welfare. To the contrary, the vibrant mix of uses will provide more security and safety than the currently vacant site. In particular, the proposed assisted living facility (ALF) will address an identified need in the City that is specifically geared to enhance the healthy and general welfare of the City's residents.

(3) The proposed use shall be consistent with the community character of the immediate neighborhood of the proposed use;

The Property is surrounded by residential, commercial and religious uses. The surrounding mix of properties is ideal for the introduction of a mixed-use town center development. The Project will include a mix of retail, hotel, office, residential and ALF uses.

(4) Utilities, roadway capacity, drainage, and other necessary public facilities, including police, fire and emergency services, shall exist at the City's adopted levels of service, or will be available concurrent with demand as provided for in the requirements of these LDRs;

The Project is not expected to result in a failure of the City's adopted levels of service. Staff's analysis of the concurrent comprehensive plan amendment application provides additional analysis in this regard, and reaches the same conclusion.

- (5) **Adequate measures exist or shall be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets;**

The Applicant has engaged David Plummer and Associates, traffic engineers, to work with the City to ensure that the Project is developed in a manner that minimizes traffic congestion and considers the optimal ingress and egress locations for the Project and the surrounding neighborhood.

- (6) **The establishment of the conditional use shall not impede the development of surrounding properties for uses permitted in the zoning district; and**

There is nothing to suggest that the approval of the Project and its conditional uses will have any detrimental effect in the ability of surrounding properties to develop for uses permitted in their zoning districts.

- (7) **The design of the proposed use shall minimize adverse effects, including visual impacts, of the proposed use on adjacent property through the use of building orientation, setbacks, buffers, landscaping and other design criteria.**

The Applicant and its architects have worked diligently to ensure that appropriate landscaping and buffering will minimize and adverse effects that might arise from the development. Further, the buildings have been sited at locations that work best with the surrounding neighborhood.

For all the foregoing reasons, the applicant respectfully requests your department's favorable review and recommendation of this application. Should you have any questions, comments, or require additional information, please do not hesitate to phone my direct line at (305) 377-6238.

Sincerely yours,



Michael J. Marrero

BROWARD COUNTY
DADE COUNTY

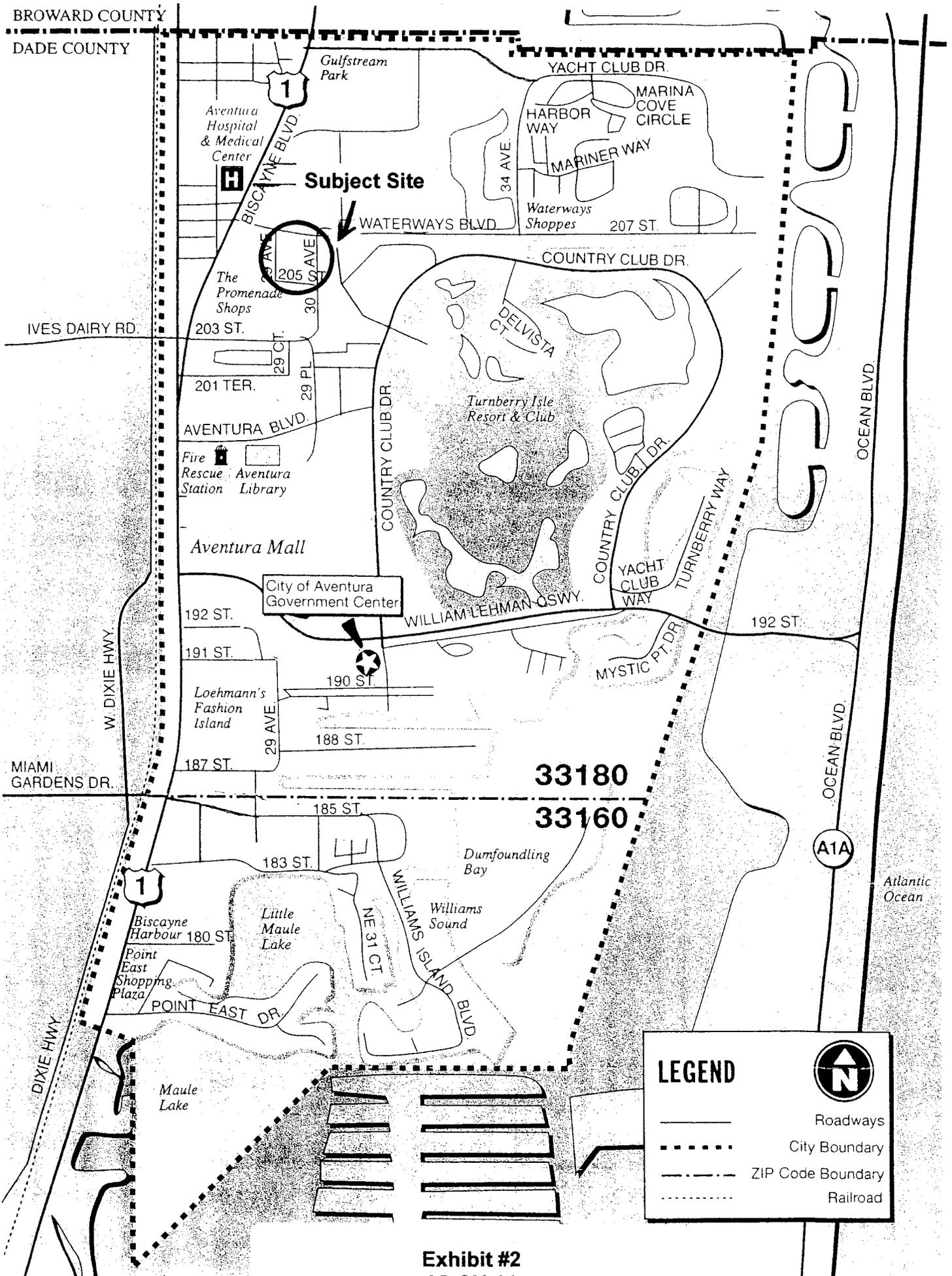


Exhibit #2
02-CU-14

**Exhibit #3
02-CU-14**

Parcel 1:

Lots 7 through 42, Block 18, HALLANDALE PARK No. 8, including the ten (10) foot alleys that are South of a line 81.00 feet South of and parallel/concentric with the North right-of-way line of Waterways Boulevard, lying within said Block 18, according to the Plat thereof, as recorded in Plat Book 20 at Page 49 of the Public Records of Miami-Dade County, Florida,

AND

Tract 1, LAURANNA, according to the Plat thereof, as recorded in Plat Book 76 at Page 31 of the Public Records of Miami-Dade County, Florida.

AND

(Lands vacated by Resolution No. 2006-61 AS, recorded in OR Book 25093, Page 478, subject to the requirements set forth in said Resolution)

A portion of land bounded by on the North by a line 81.00 feet South of and parallel or concentric with the North line of Waterways Boulevard as shown on AVENTURA CORPORATE CENTER, according to the plat thereof, as recorded in Plat Book 158, Page 47, and bounded on the South by the North line of Block 18, HALLANDALE PARK NO. 8, according to the plat thereof, as recorded in Plat Book 20 at Page 49, all being of the Public Records of Miami-Dade County, Florida, lying and being in the City of Aventura and being more particularly described as follows:

Commence at the Southwest corner of Lot 26, of said Block 18; thence $N00^{\circ}56'26''W$ along the East right of way line of N.E. 29th Avenue as shown on said Plat Book 20 at Page 49, also being the West line of said Block 18 for 76.87 feet to a point of curvature and the most Westerly Northwest corner of said Lot 26, also being the POINT OF BEGINNING of the hereinafter described parcel of land; thence Northeasterly along a 25.00 foot radius curve, leading to the right, through a central angle of $91^{\circ}06'02''$ for an arc distance of 39.75 to a point of tangency; thence $S 89^{\circ}50'24'' E$ along the North line of said Block 18 and the Easterly extension thereof for 474.99 feet to a point on a circular curve, concave to the Northeast and whose radius point bears $N06^{\circ}44'26''E$, the following two courses being along a line 81.00 feet South of and parallel or concentric with said North line of Waterways Boulevard; (1) thence Northwesterly along a 1519.00 foot radius curve leading to the right, through a central angle of $07^{\circ}14'58''$ for an arc distance of 192.20 feet to a point of tangency; (2) thence $N76^{\circ}00'36''W$ for 290.40 feet to a point of curvature; thence Southwesterly along a 25.00 foot radius curve, leading to the left, through a central angle of $104^{\circ}55'50''$ for an arc distance 45.78 feet to a point of tangency; thence $S00^{\circ}56'26''E$ along the Northerly extension of the said East right of way line of N.E. 29th Avenue for 104.19 feet to the POINT OF BEGINNING.

AND

That portion of N.E. 206th Street bounded on the North by Block 18 and bounded on the South by the center line of N.E. 206th Street and bounded on the East by the West right-of-way line of N.E. 30th Avenue (East Dixie Highway) and bounded on the West by the East right-of-way line of N.E. 29th Avenue (Harvard Avenue), all being as shown on HALLANDALE PARK NO. 8, according to the Plat thereof, as recorded in Plat Book 20 at Page 49 of the Public Records of Miami-Dade County, Florida.

Parcel 2:

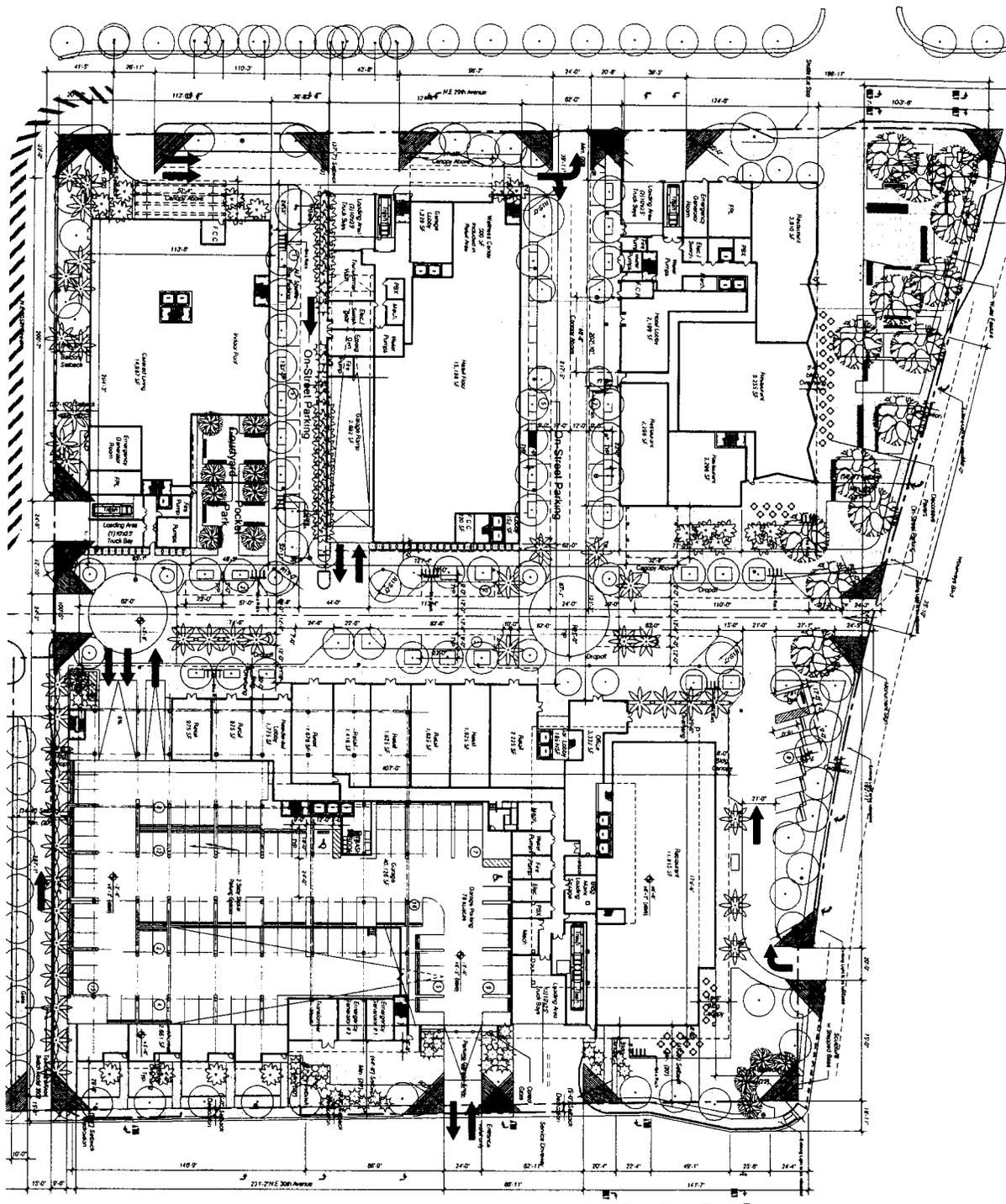
LOTS 10, 12 through 23, inclusive, and Lots 28 through 42, inclusive, Block 17, HALLANDALE PARK NO. 8, according to the plat thereof, as recorded in Plat Book 20, Page 49, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205th Street, to the centerlines thereof, as vacated in Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

AND

Lots 1, 2, 6, 7, 8, 9, 11, 24, 25, 26 and 27, Block 17, HALLANDALE PARK NO. 8, according to the plat thereof, as recorded in Plat Book 20, Page 49, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205th Street, to the centerlines thereof, as vacated in Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

AND

Tract 1, Block 17 of a REPLAT OF A PORTION OF HALLANDALE PARK NO. 8, according to the plat thereof, as recorded in Plat Book 40, Page 97, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205th Street, to the centerlines thereof, vacated per Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

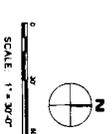


Parksquare Avenidaventura, Florida
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City of Avenidaventura - Preliminary Site Plan Development Application

A-10 Ground Floor Plan

FOR TEMPLATE DIMENSIONAL INFORMATION SEE SHEET A-03



March 13, 2014

ZYSCOVICH ARCHITECTS
 1020 N. Broadway Blvd. Suite 200
 Miami, FL 33132
 (305) 375-1500
 (305) 375-1501

135' 11"
 TO RTSC

Exhibit #4
02-CU-14

ParkSquare Aventura
Aventura, Florida

Preliminary Site Plan Development Application



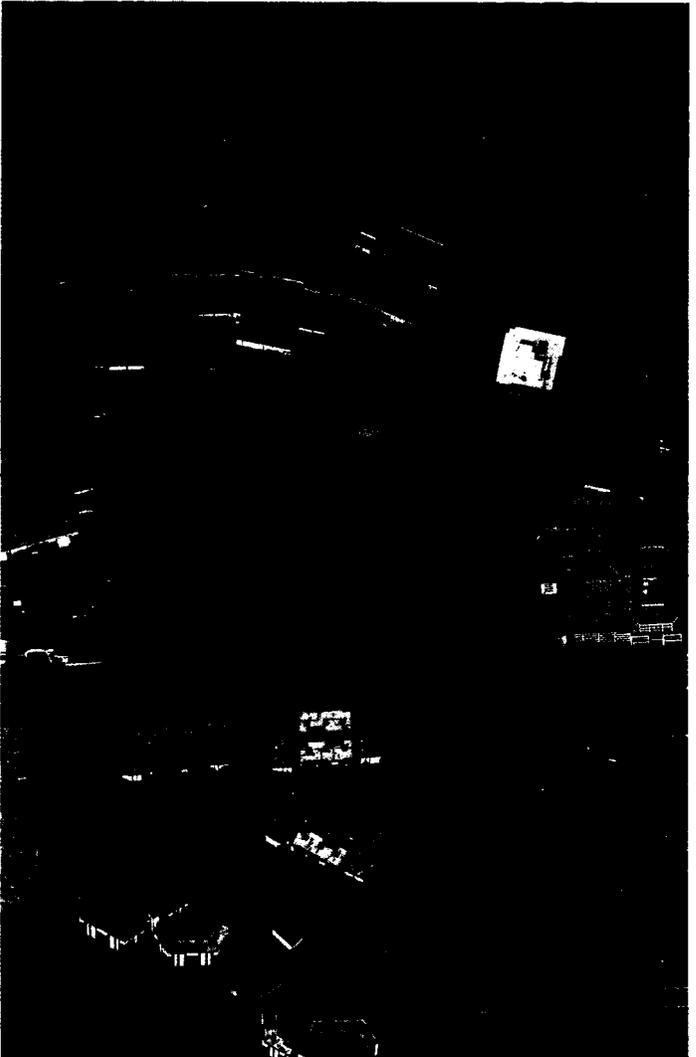
 **Integra**
Investments

ZYSCOVICH
ARCHITECTS

DATE : MARCH 18, 2014

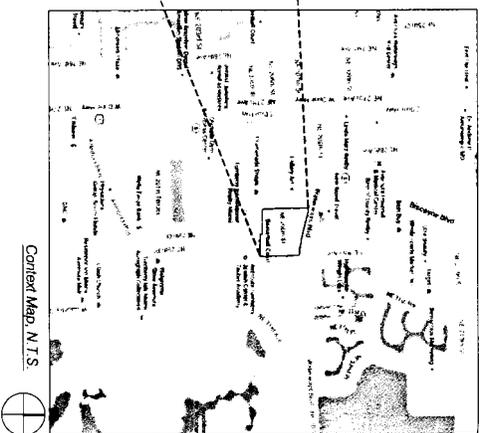
SHEET DRAWING LIST

G-00	Location Map and Index
V-00	Survey
C-2.0	Civil Plans
C-3.0	Notes and Specs.
C-3.5	Overall Site Plan
C-4.0	Off Site Signage and Striping Plan
C-5.0	Preliminary Grading and Drainage Plan
C-5.1	Overall Utility Plan
C-5.2	Water Plans
C-5.3	
C-5.4	
C-5.5	Sanitary Sewer Plan
C-9.0	Vehicular Circulation Plan
C-10	Easement & R.O.W Dedication Plan
A-00	Renderings
A-01	Aerial View
A-02	Northwest View
A-03	Northeast View
	Boulevard View
	Site Data Information
	Site Setback Diagram
	Off Site Sketch
A-10	Building Plans
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A-12	Mezzanine Floor Plan
A-13	Second Floor Plan
A-14	Third Floor Plan
A-15	Fourth Floor Plan
A-16	Fifth Floor Plan
A-17	Sixth Floor Plan
A-18	Seventh Floor Plan
A-19	Eighth Floor Plan
A-20	Ninth Floor Plan
A-21	Tenth Floor Plan
A-22	Eleventh and Twelfth Floor Plans
	Roof Plan
	Building Elevations
A-30	Overall North & East Elevation
A-31	Overall South & West Elevation
A-32	East Building Res. Cross Sections
	Landscape Plans
LH-1	Tree Management Plan
LH-2	Site Hard Surface Plan
LL-1	Site Hard Surface Schedule
LL-2	Site Lighting Plan
LP-1	Site Lighting Schedule
LP-2	Landscape Plan Ground Level
	Landscape Plan Upper Levels



SITE

Location Map, N.T.S.



Context Map, N.T.S.

ParkSquare Aventura Aventura, Florida

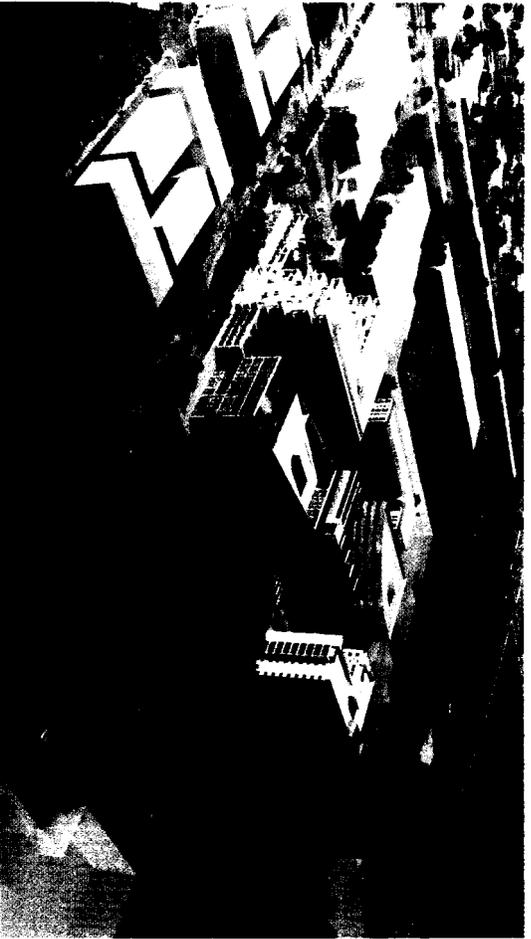
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City of Aventura - Preliminary Site Plan Development Application

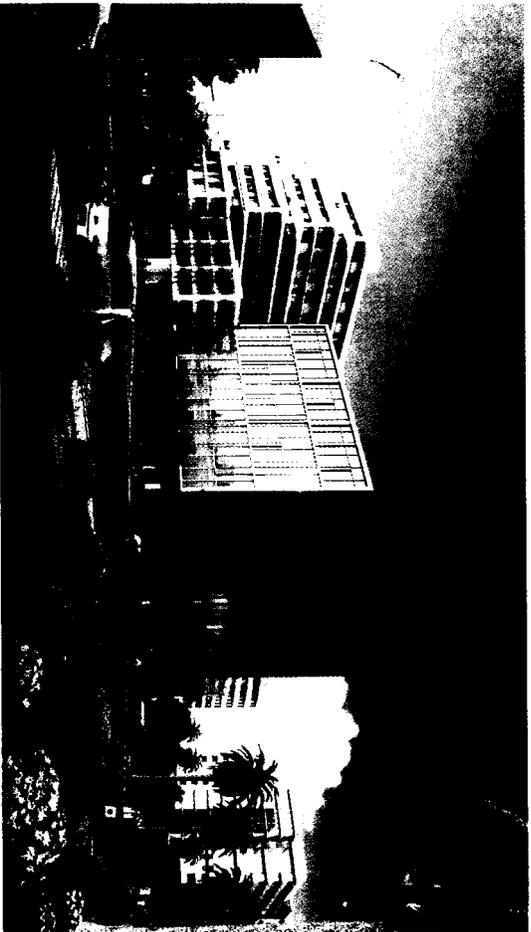
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2014 Building No. 2116-A
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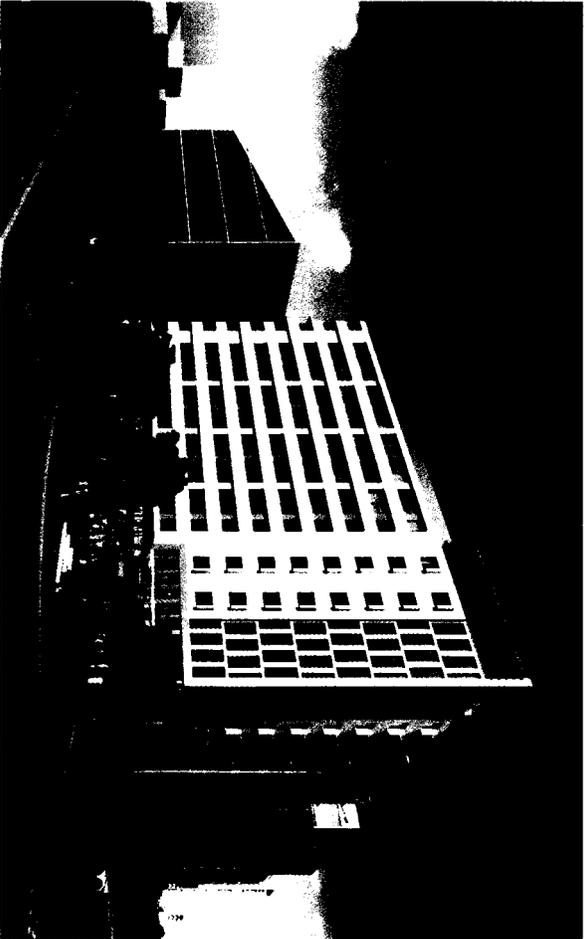
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Aventura, FL 33150



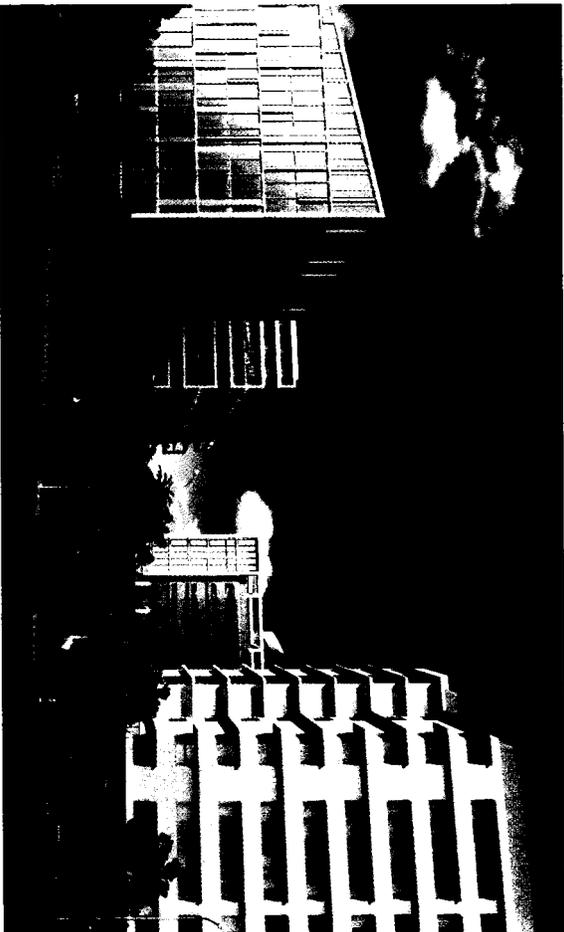
Aerial View



Northeast View



Northwest View



Boulevard View

ParkSquare Aventura Aventura, Florida

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City of Aventura - Preliminary Site Plan Development Application

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• www.zyscovich.com

ParkSquare Aventura Aventura, Florida

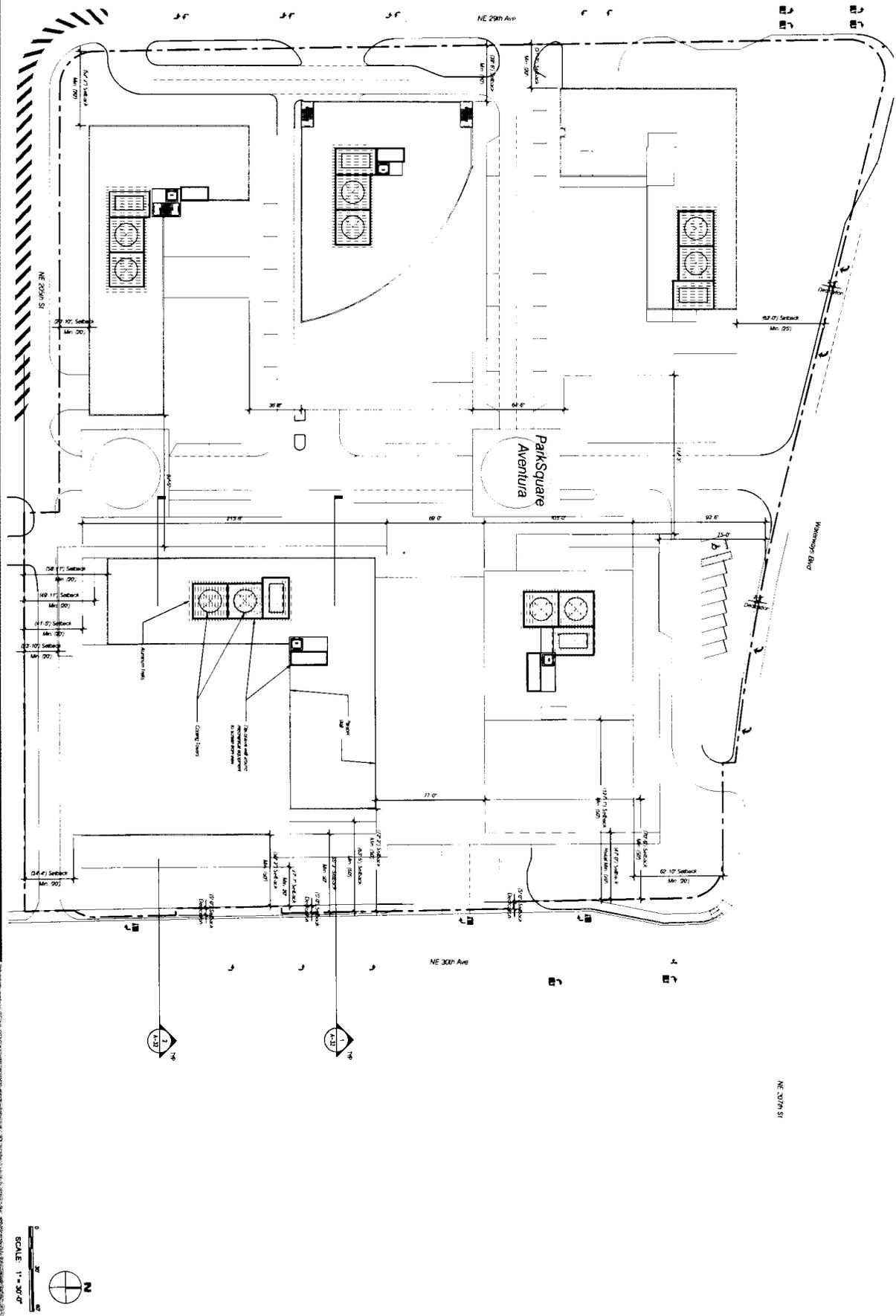
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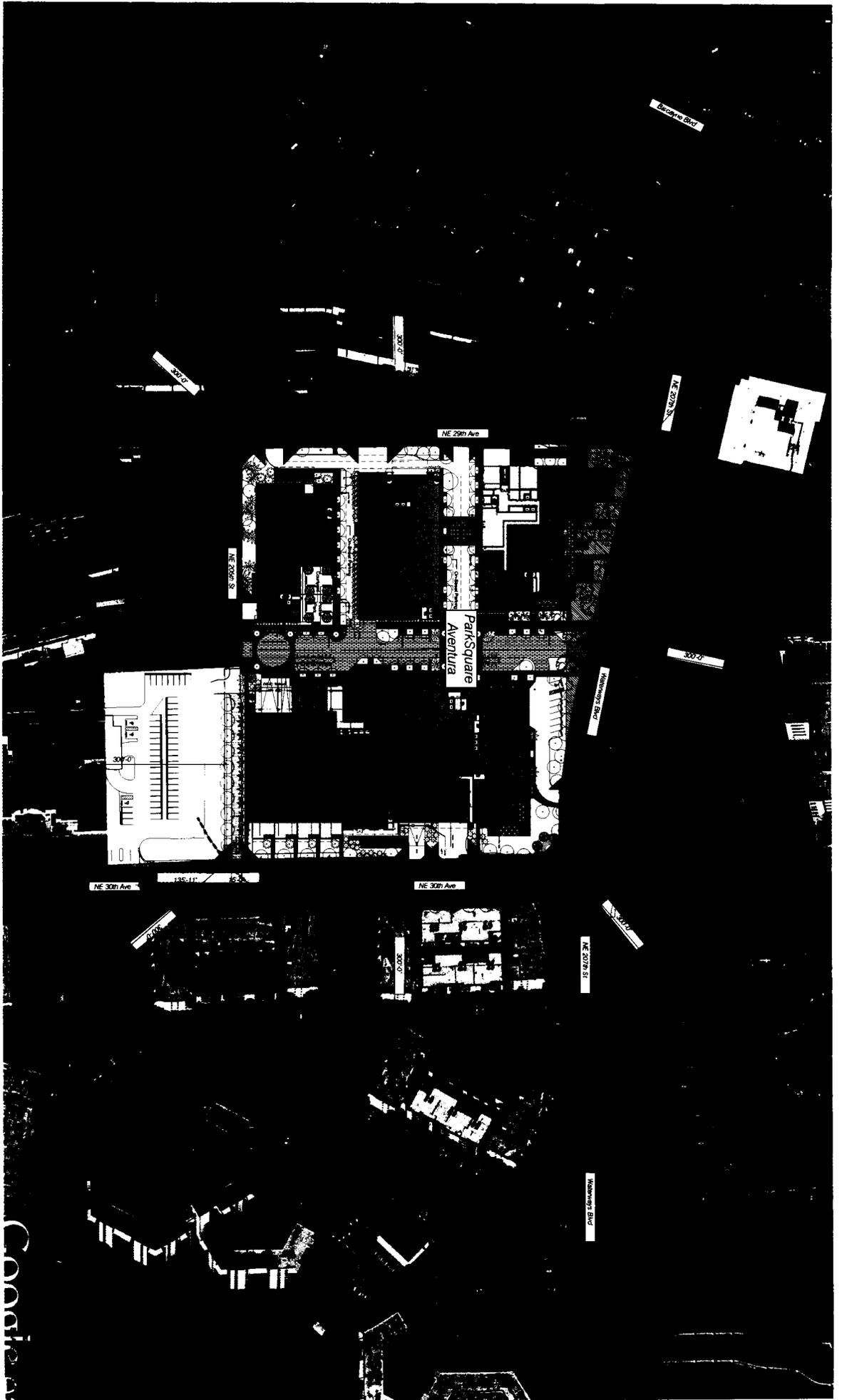
City of Aventura - Preliminary Site Plan Development Application

ZYSCOVICH ARCHITECTS

1000 NE 135th Ave, Suite 200
Aventura, FL 33154
Tel: 305.276.2000 Fax: 305.276.2001
www.zyscovich.com

SCALE: 1" = 30'-0"



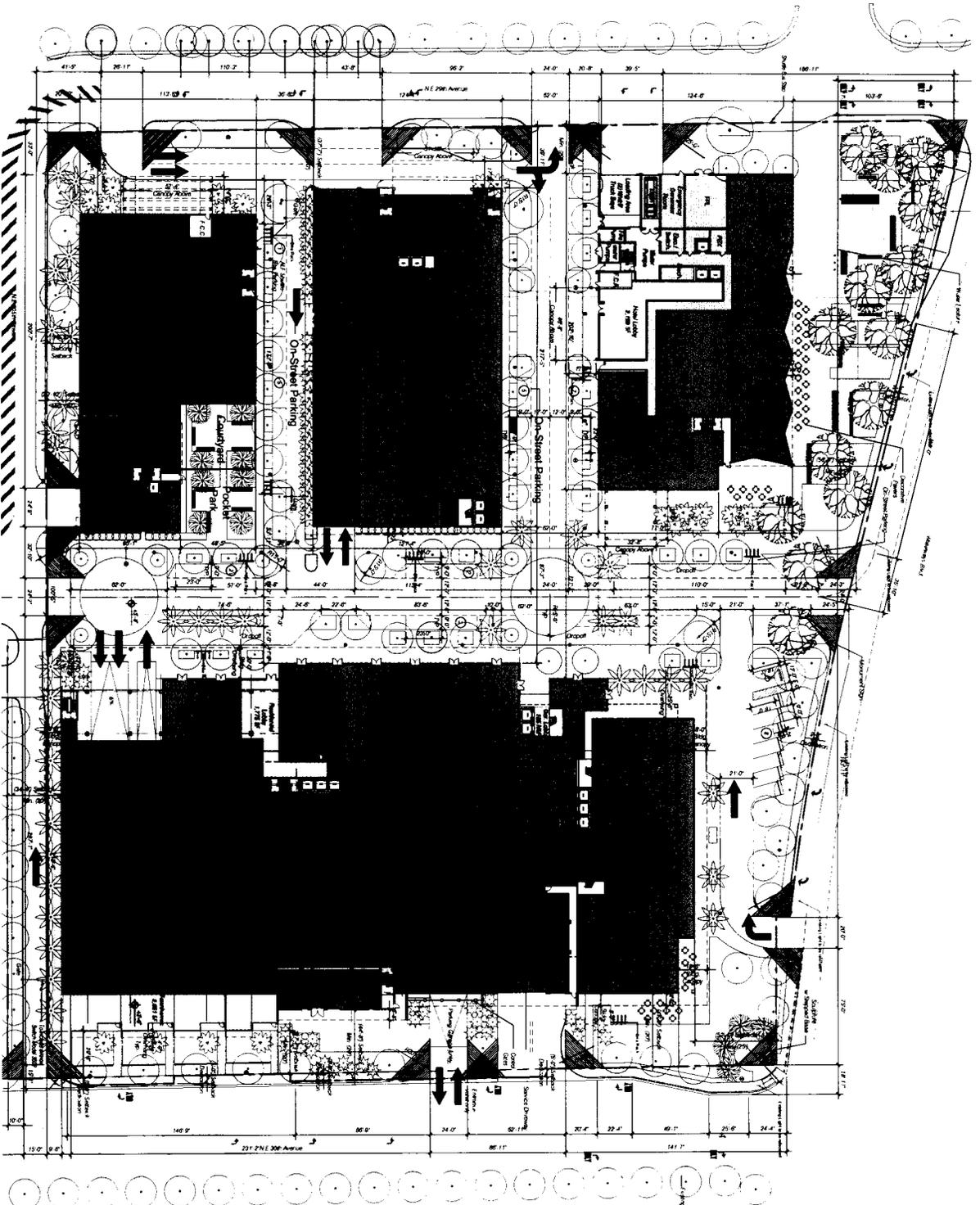


Park Square Aventura, Aventura, Florida

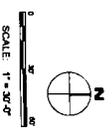
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City of Aventura - Preliminary Site Plan Development Application

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FOR TEMPLATE DIMENSIONAL
 INFORMATION SEE SHEET A-03



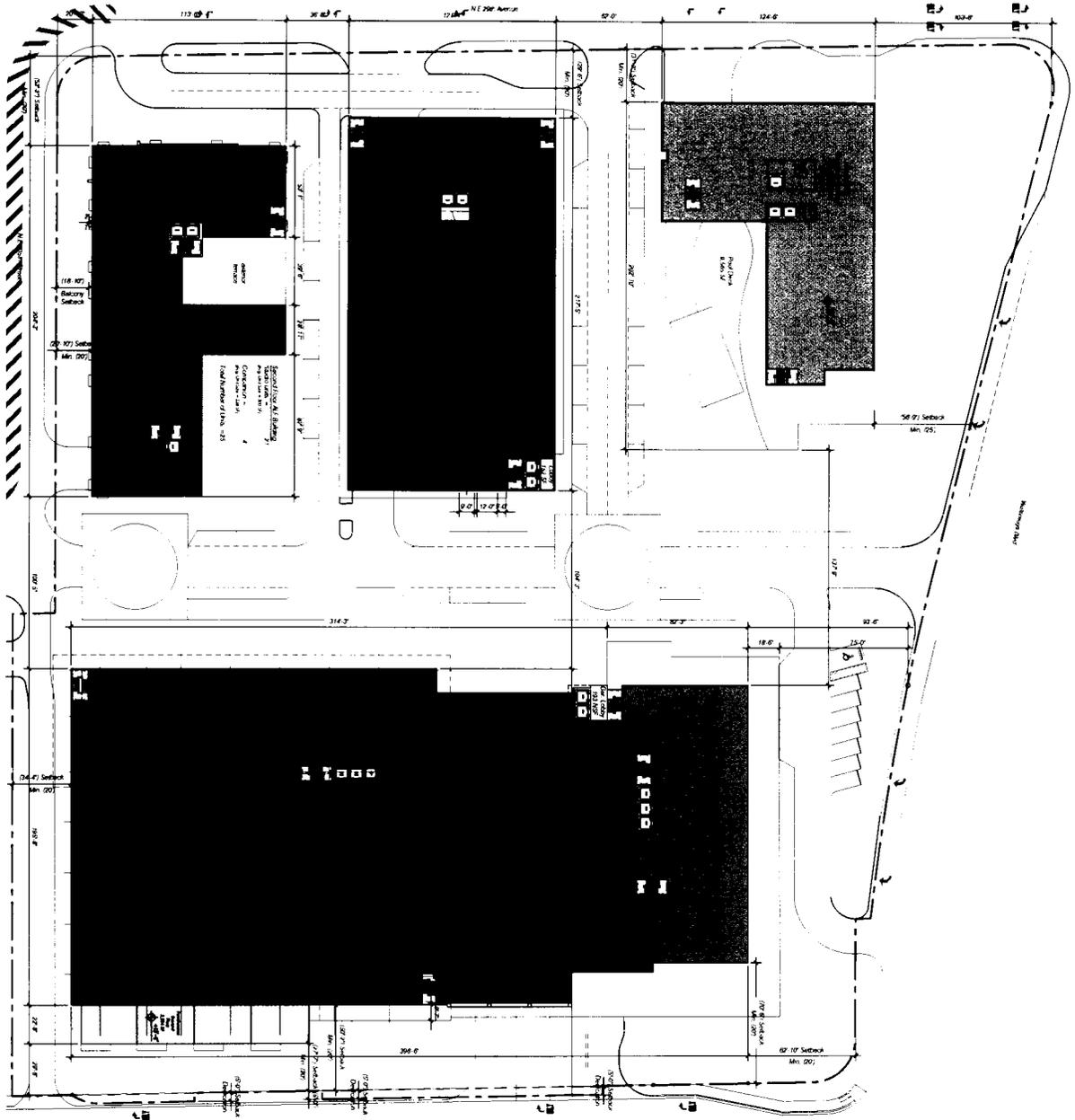
Park Square Aventura Aventura, Florida

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City of Aventura - Preliminary Site Plan Development Application

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 1024 Biscayne Blvd, 27th Fl
 Miami, FL 33132
 305.212.0077 | 305.877.6441

• 3D Model
 • 2D Drawings
 • 3D Renderings
 • 3D Animations



ParkSquare Avenida, Florida

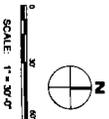
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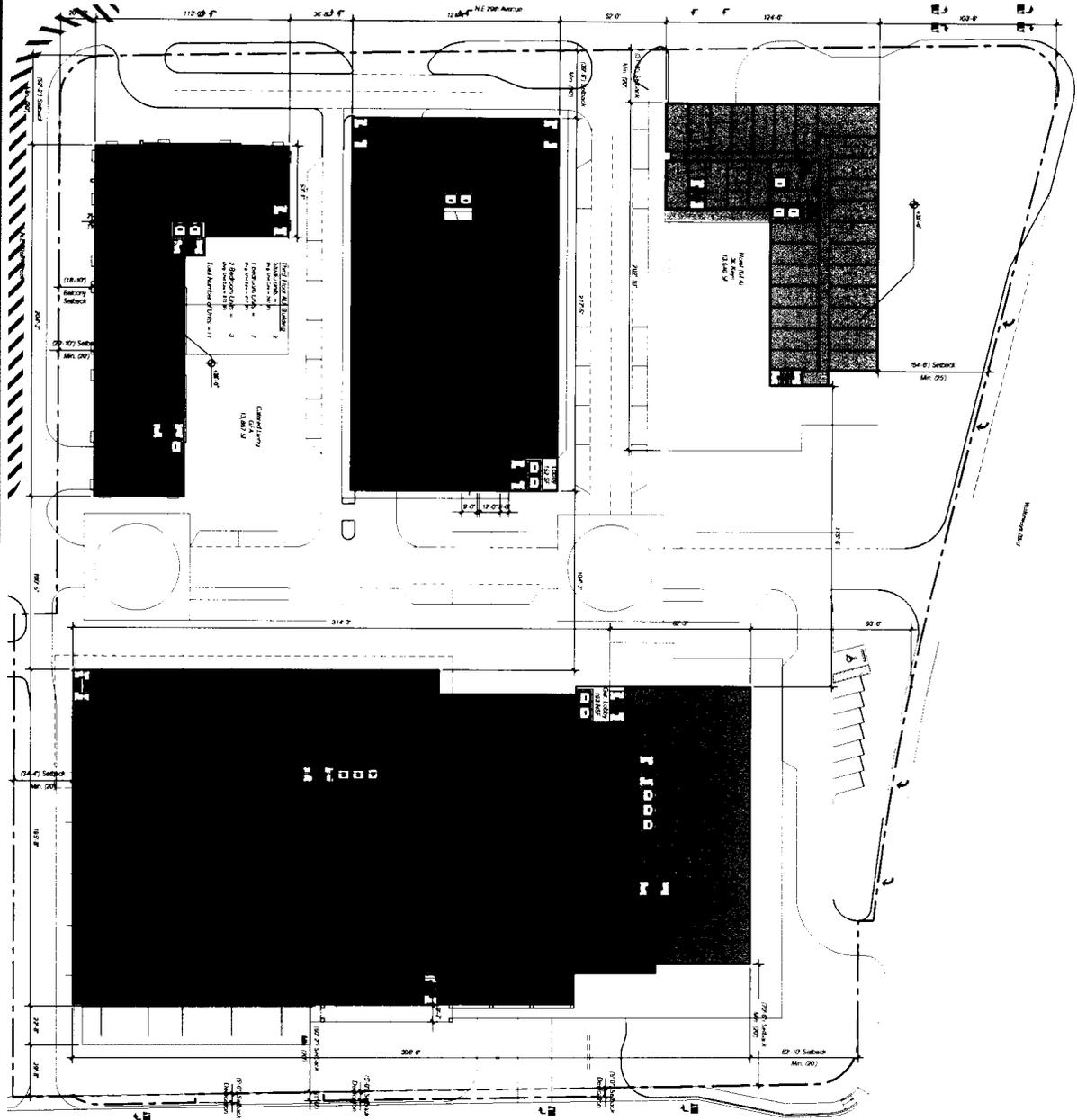
City of Avenida - Preliminary Site Plan Development Application

ZYSCOVICH ARCHITECTS

12118 Avenida Real, 27041
 562.212.2777 | 562.212.1461

1: Single Representation
 2: New American Edition





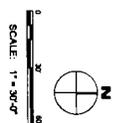
ParkSquare Avenida Aventura, Florida
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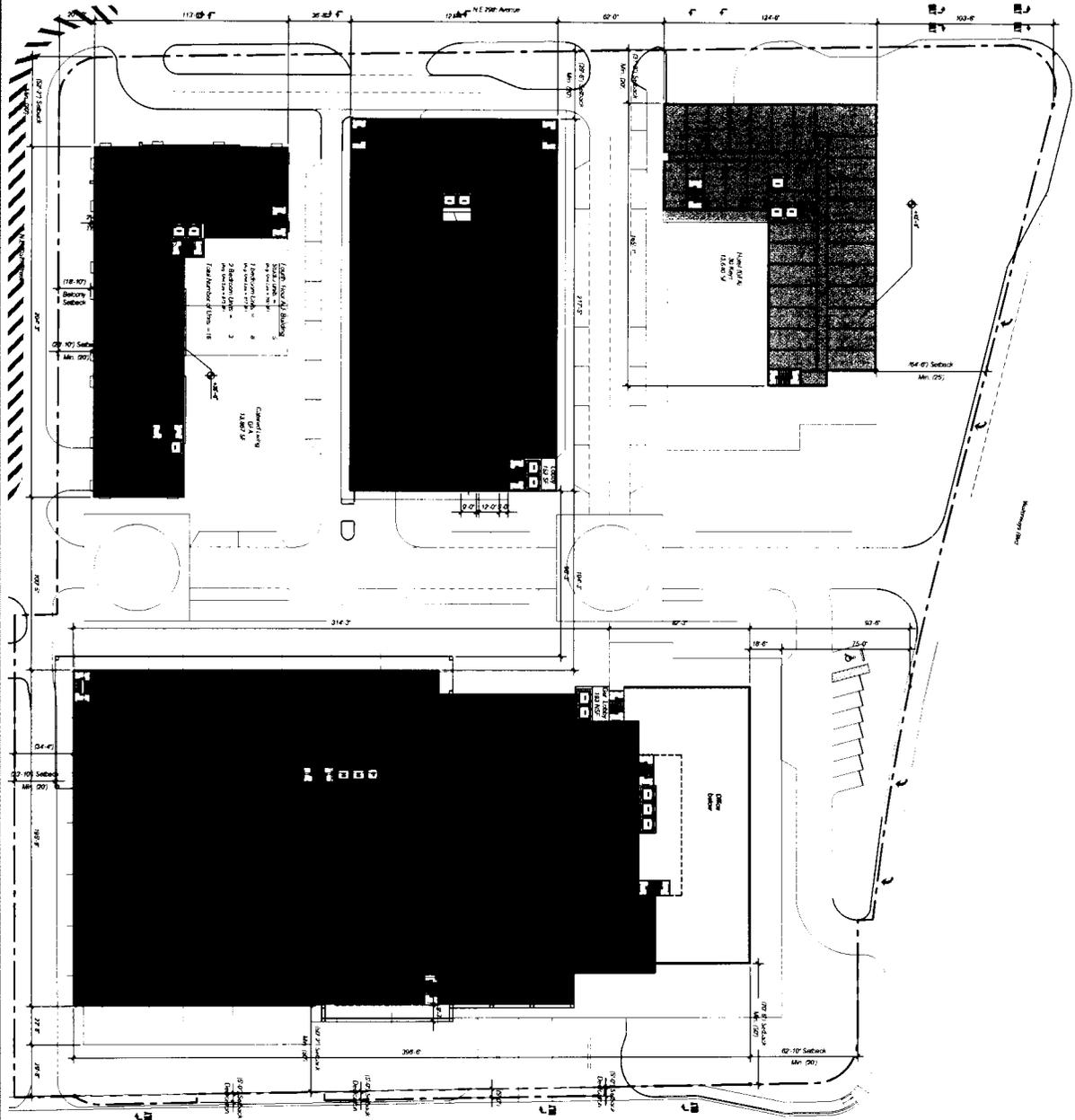
City of Aventura - Preliminary Site Plan Development Application

**ZYSCOVICH
 ARCHITECTS**

1010 NE Bayway Blvd., Suite 1101
 Aventura, FL 33159
 Phone: (305) 944-1100
 Fax: (305) 944-1101

1. 2014-01-15
 2. 2014-01-15
 3. 2014-01-15





ParkSquare Aventura Aventura, Florida

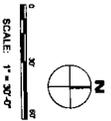
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City of Aventura - Preliminary Site Plan Development Application

ZYSCOVICH ARCHITECTS

1001 NE 17th Avenue, Suite 2700
Aventura, FL 33159
Tel: 305.277.1200
Fax: 305.277.1201

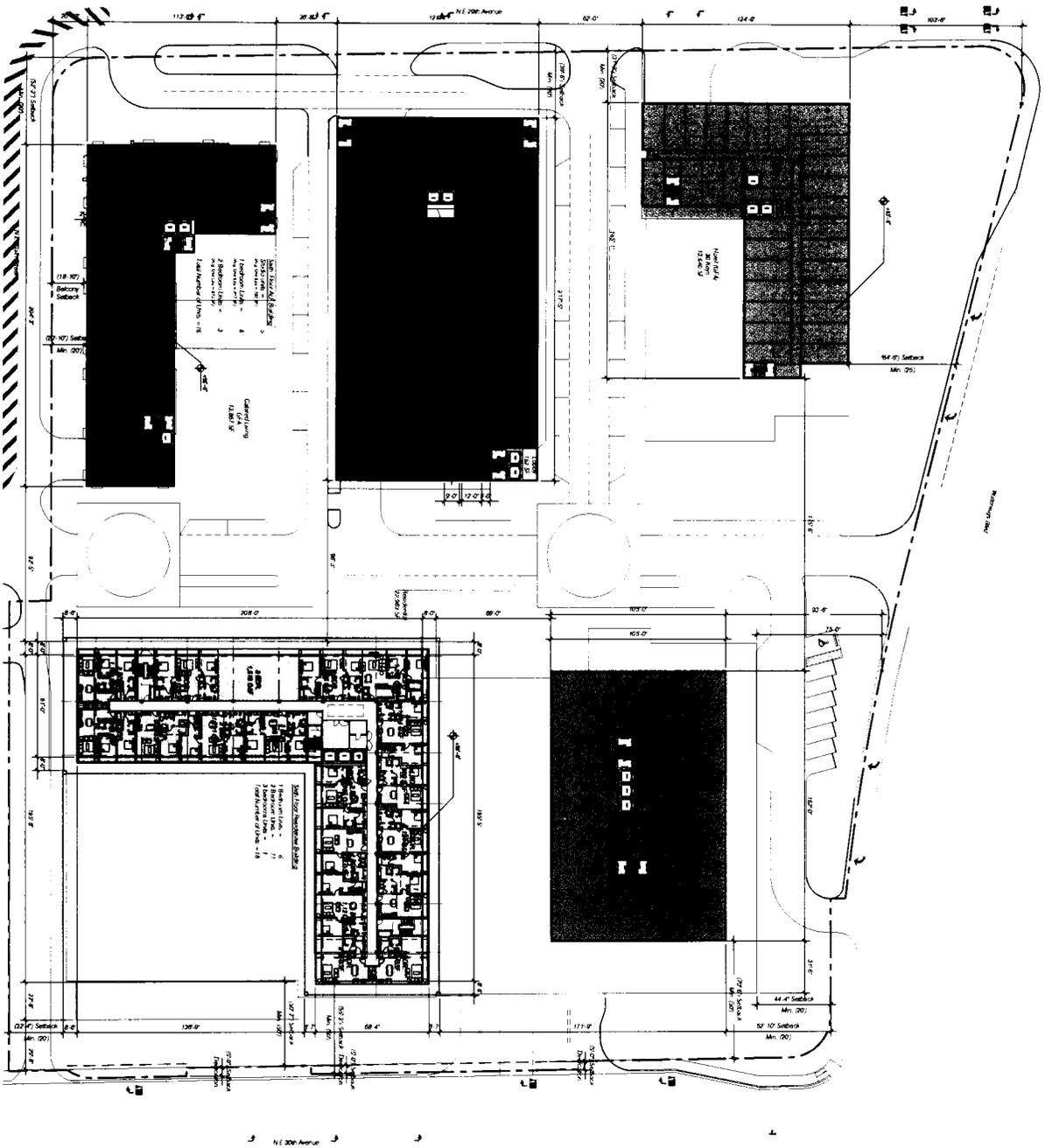
www.zyscovich.com



ParkSquare Aventura, Aventura, Florida

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City of Aventura - Preliminary Site Plan Development Application



ZYSCOVICH ARCHITECTS

1001 N. Baycom Parkway, Suite 200, Aventura, FL 33150
 Phone: 305.277.7000
 Fax: 305.277.7001
 Website: www.zyscovich.com

SCALE: 1" = 30'-0"

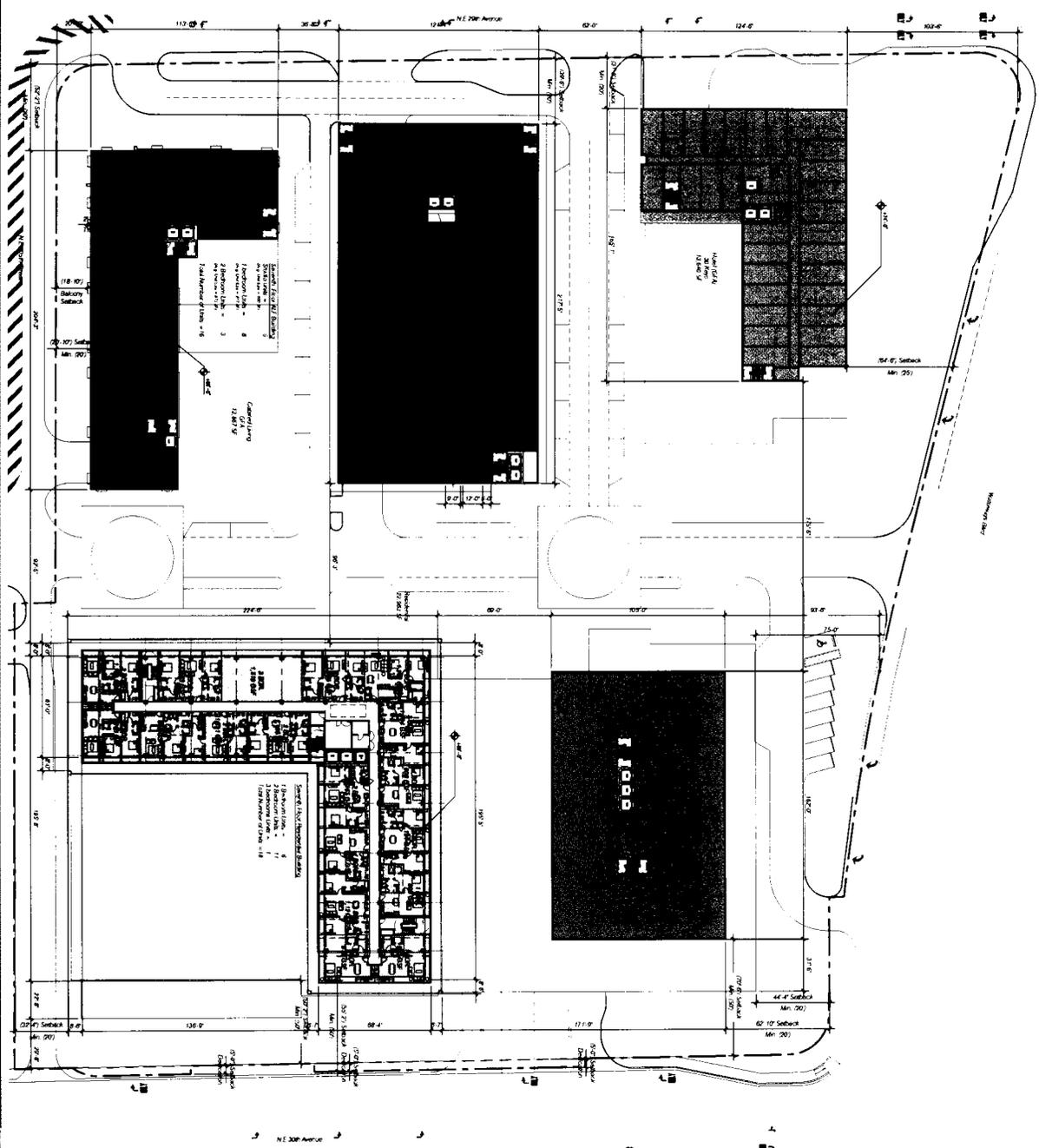
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N

ParkSquare Avenida, Florida

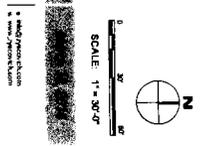
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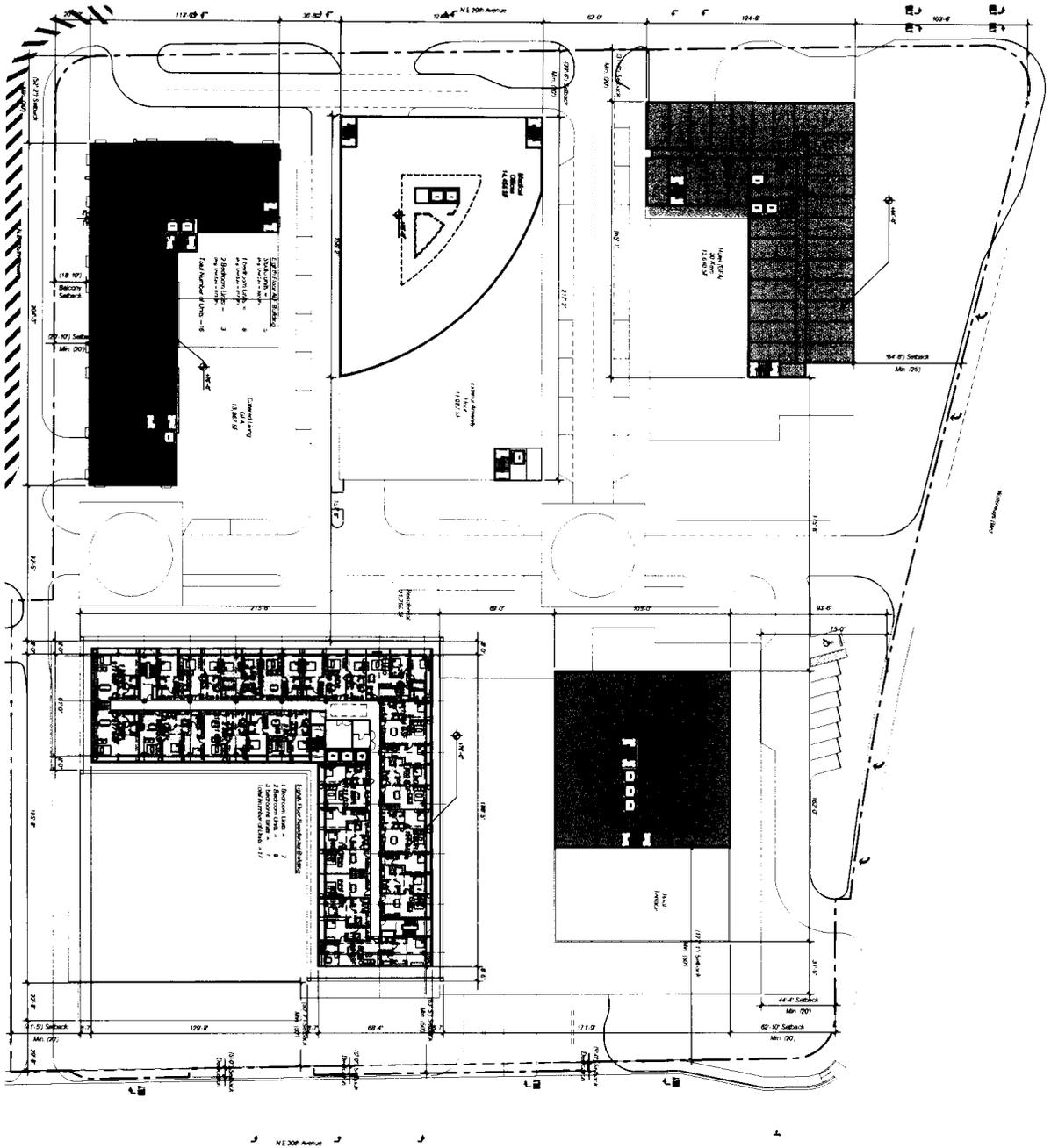
City of Avenida - Preliminary Site Plan Development Application

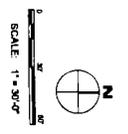
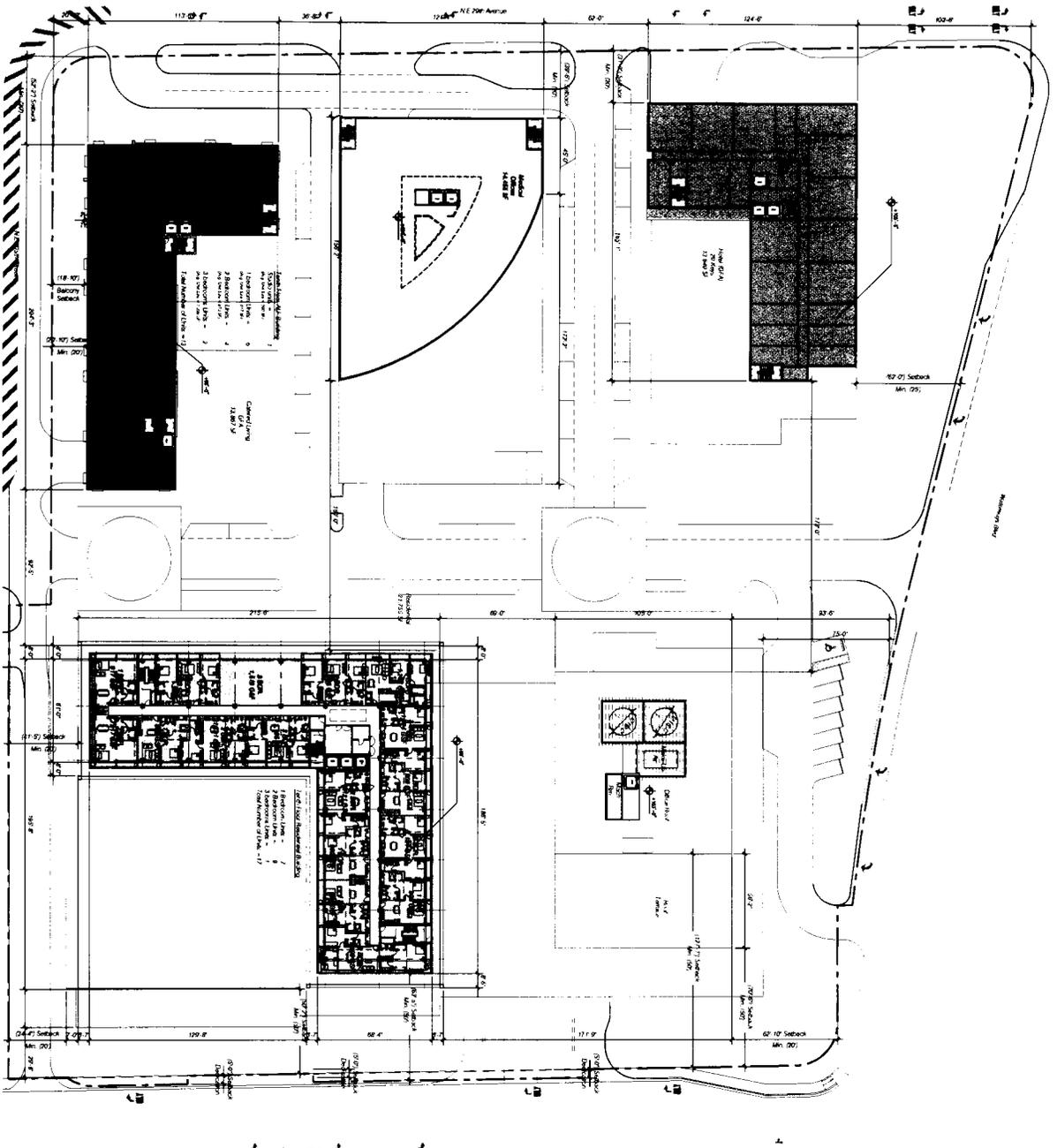


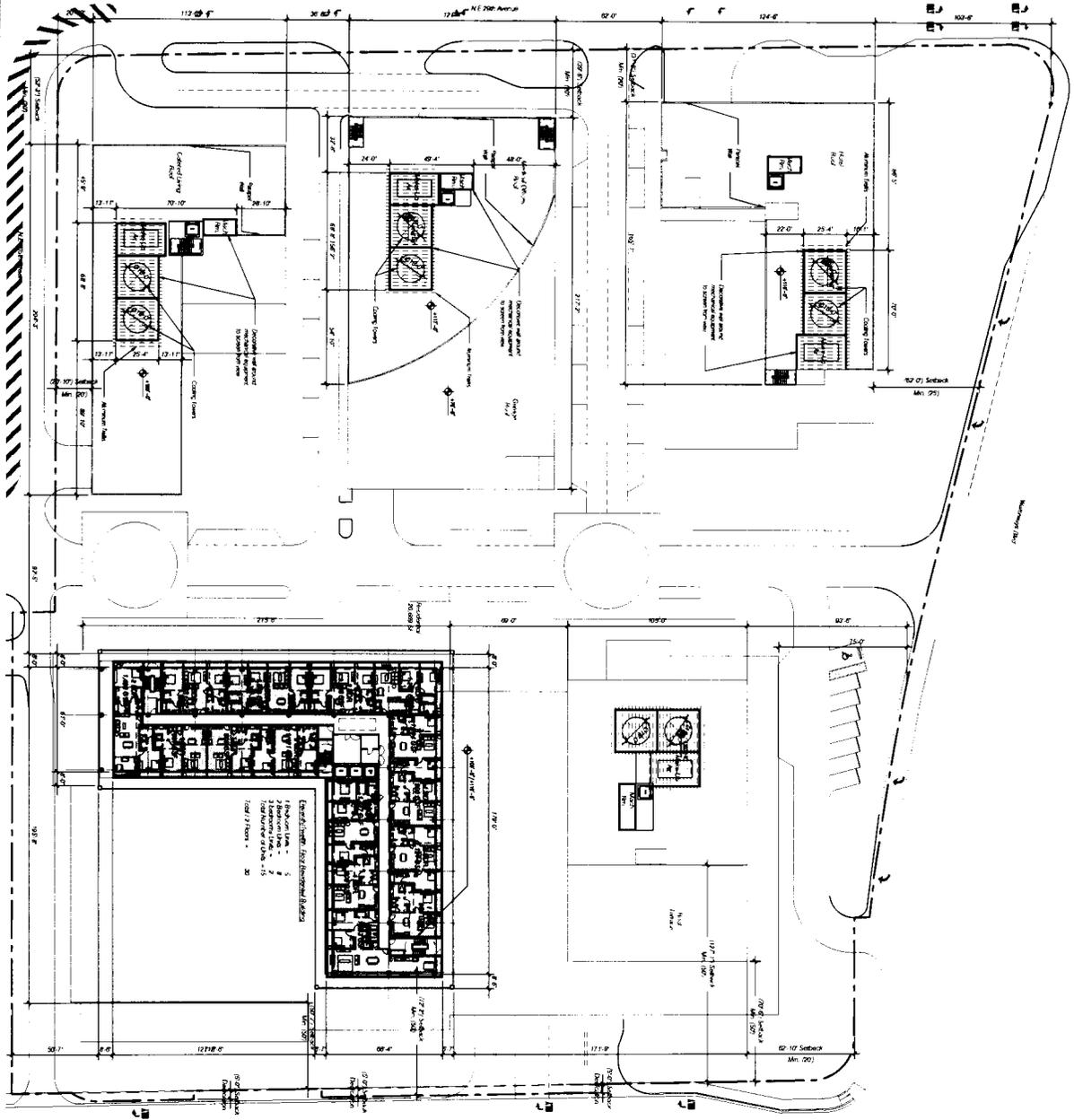
ZYSCOVICH ARCHITECTS

10211 Bayview Blvd., Suite 111
 Miami, FL 33151
 (305) 752-2027 | (305) 752-1441









ParkSquare Aventura Aventura, Florida

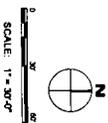
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City of Aventura - Preliminary Site Plan Development Application

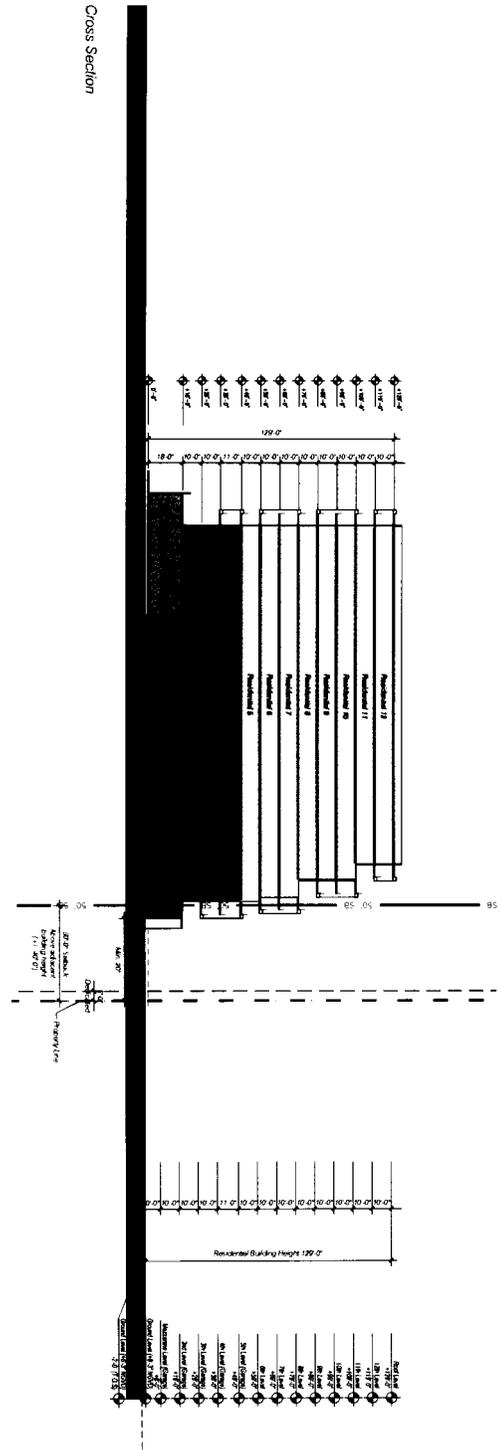
ZYSCOVICH ARCHITECTS

1021 N. BAYVIEW BLVD., SUITE 210
AVENTURA, FL 33157
TEL: 305.224.0000 FAX: 305.224.1491

www.zyscovich.com

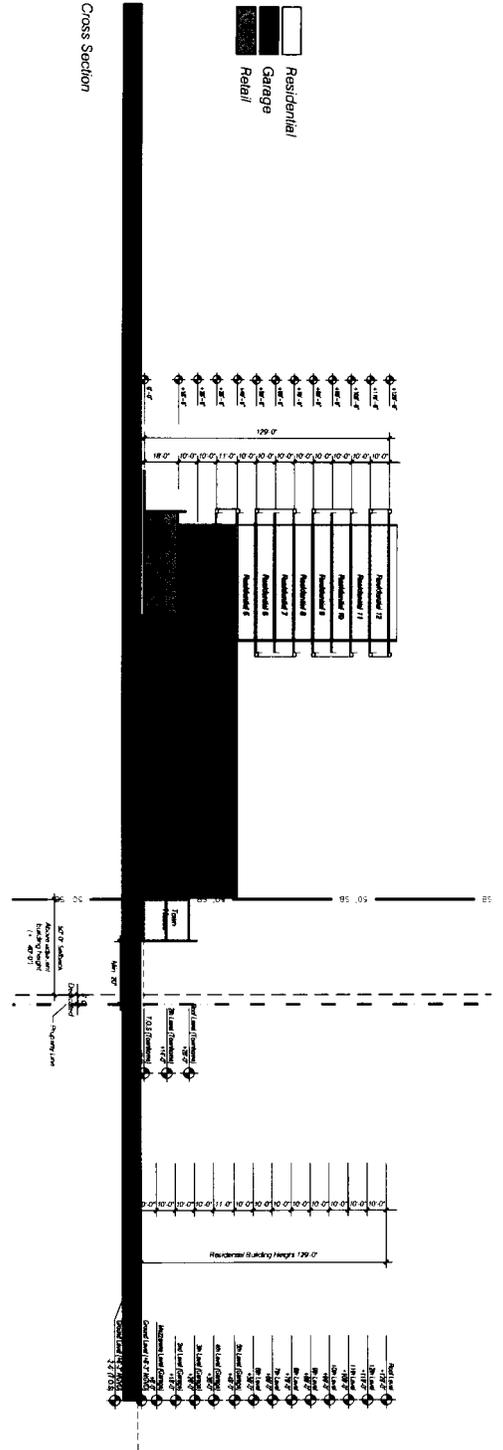


Cross Section



- Residential
- Garage
- Retail

Cross Section



PartSquare Aventura Aventura, Florida

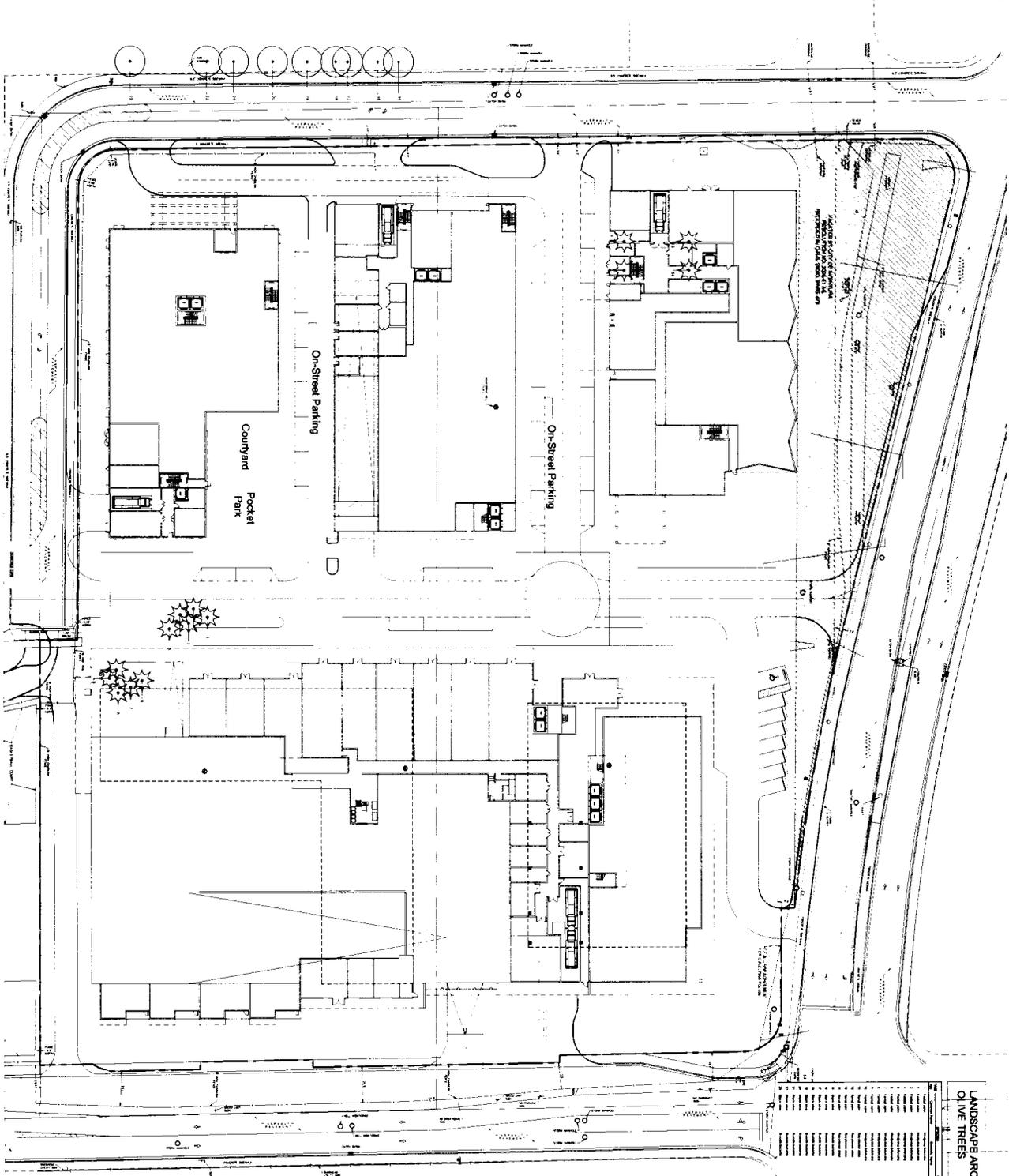
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City of Aventura - Preliminary Site Plan Development Application

ZYSCOVICH ARCHITECTS

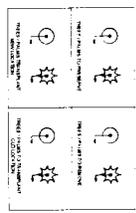
1021 Bayview Blvd., 7th Fl.
Miami, FL 33133
Tel: 305.375.2277 Fax: 305.375.1431

SCALE: 1" = 30'-0"



LANDSCAPE ARCHITECT TO DETERMINE CONDITION OF BLACK OLIVE TREES

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	03/13/14	MM	MM
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			
11	REVISION			
12	REVISION			
13	REVISION			
14	REVISION			
15	REVISION			
16	REVISION			
17	REVISION			
18	REVISION			
19	REVISION			
20	REVISION			
21	REVISION			
22	REVISION			
23	REVISION			
24	REVISION			
25	REVISION			
26	REVISION			
27	REVISION			
28	REVISION			
29	REVISION			
30	REVISION			



0"=10'-30"



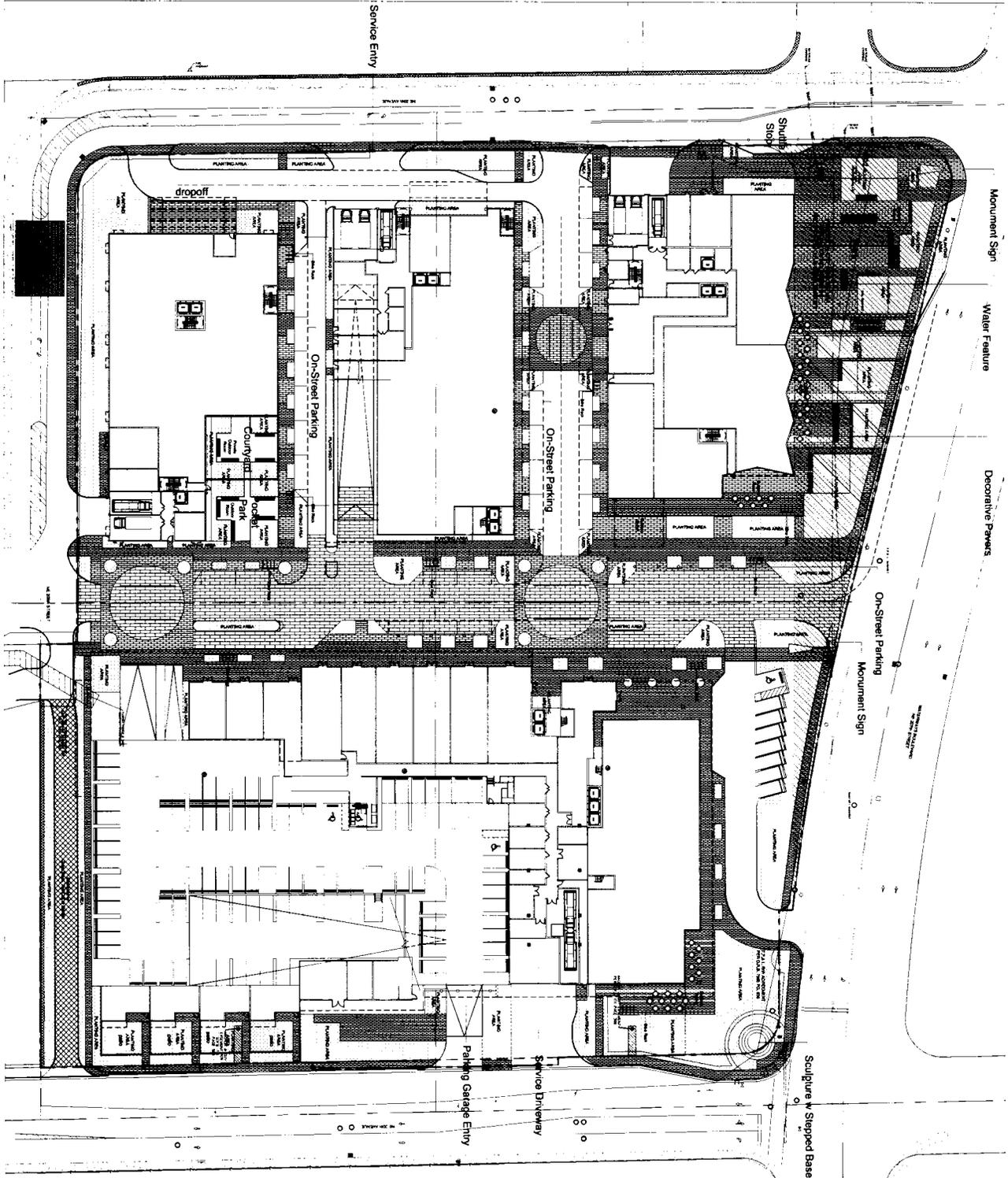
SHEET NUMBER
LT-1

DATE: 03/03/2014

DRAWING
Tree Management Plan

PROJECT
Park Square Aventura
City of Aventura, Florida

sayinmiller
DESIGN ARCHITECTS
LANDSCAPE ARCHITECTS
PLANNING ARCHITECTS
INTERIOR ARCHITECTS
CONSTRUCTION MANAGEMENT



TOTAL SITE AREA: 7.4 ACRES
 LANDSCAPE AREA: 57,271 sf
 FLOOR OPEN AREA: 59,271 sf
 TOTAL OPEN AREA: 116,542 sf
 ROOF AREA: 85,207 sf
 ROOF OPEN SPACE AREA: 55,214 sf
 ROOF LANDSCAPE AREA: 20,000 sf

Existing Concrete Sidewalk

- Legend**
- Existing / Proposed Concrete Walkway
 - Concrete Paver - Large Red Gray with aggregate
 - Concrete Paver - Medium Light Gray with aggregate
 - Concrete Paver - Small Light Sand with aggregate
 - Planting Area
 - Proposed Stone Bench
 - Driveway / Staircase



PROJECT
 Park Square Aventura
 City of Aventura, Florida

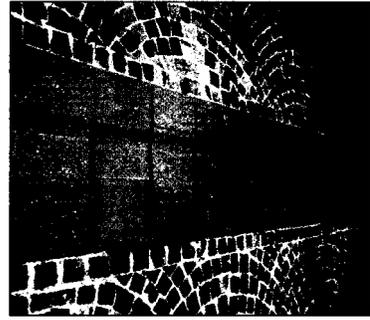
DRAWING
 Site Hardsurface Plan

SHEET NUMBER
 LH-1

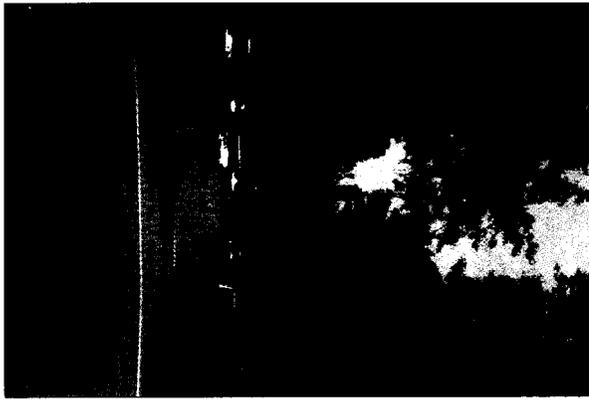
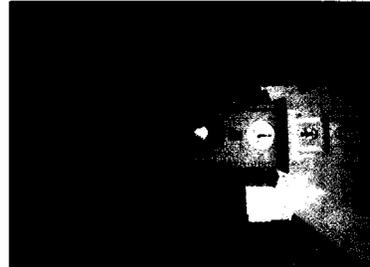




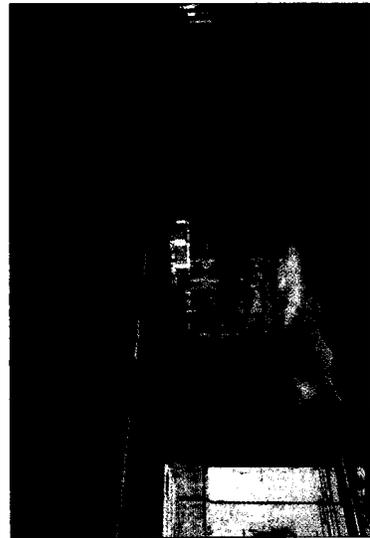
SIDEWALK



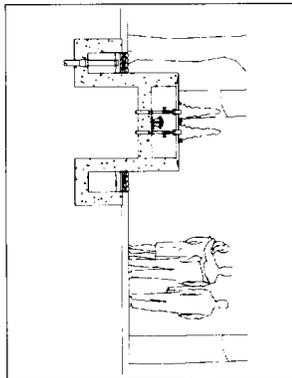
CENTER DRAIN



STREET PAVING



PAVING PATTERN



FOUNTAIN



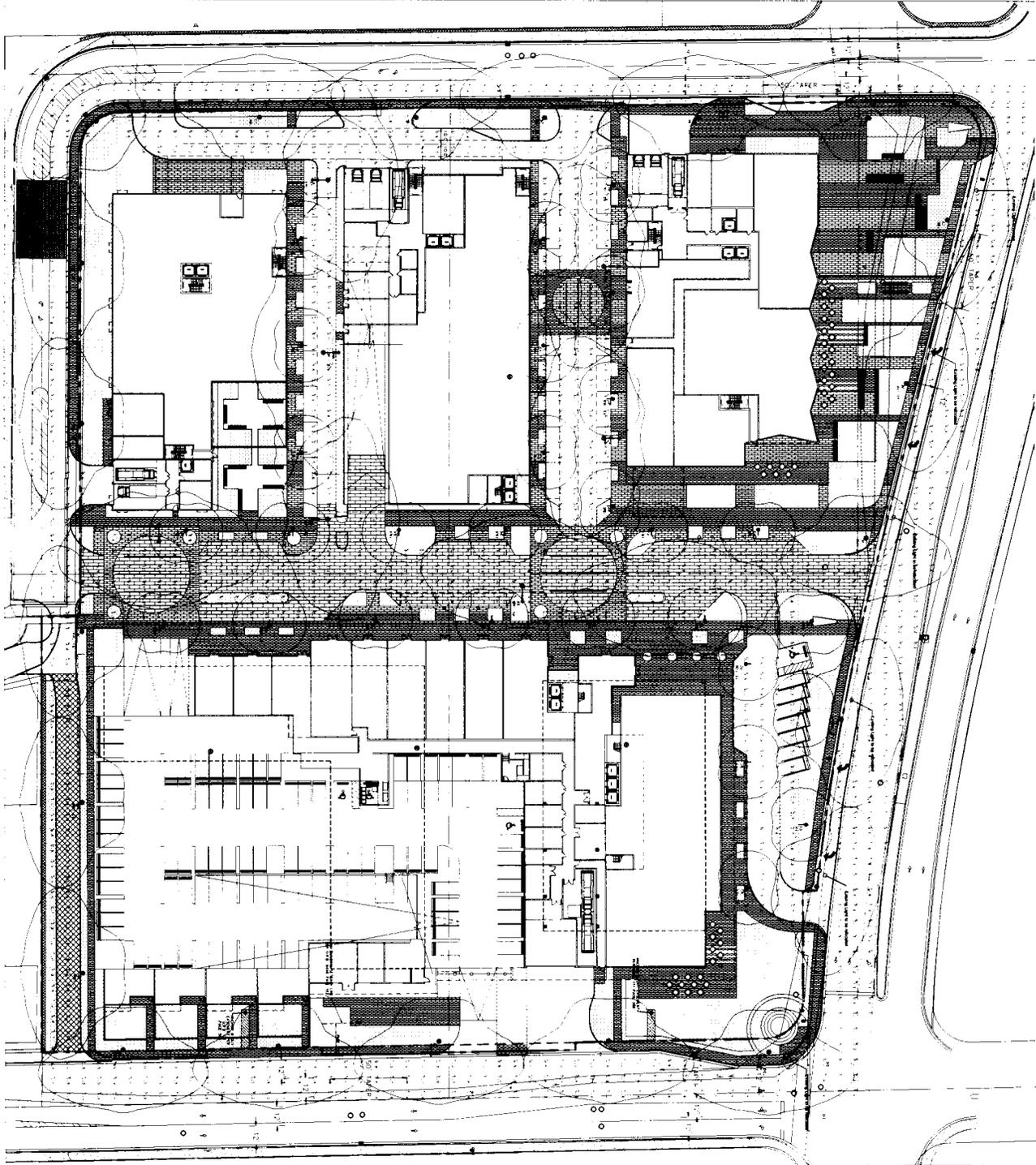
SHEET NUMBER
LH-2

DATE
03-03-2014

DRAWING
Site Hardsurface Schedule

PROJECT
Park Square Aventura
City of Aventura, Florida

savinmiller
DESIGN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING | INTERIOR ARCHITECTURE
11700 N.W. 11th Street, Suite 200, Aventura, Florida 33150
TEL: 305.944.8888 FAX: 305.944.8889



LIGHTING FIXTURE SCHEDULE

SYM	DESCRIPTION	MANUFACTURER'S CATEGORY	BASE TYPE / APPLICATION	REMARKS
1	STREET LIGHT	REDA 8000	100W LED	30' H
2	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
3	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
4	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
5	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
6	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
7	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
8	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
9	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
10	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
11	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
12	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
13	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
14	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
15	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
16	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
17	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
18	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
19	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
20	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
21	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
22	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
23	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
24	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
25	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
26	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
27	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
28	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
29	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
30	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
31	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
32	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
33	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
34	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
35	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
36	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
37	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
38	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
39	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
40	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
41	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
42	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
43	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
44	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
45	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
46	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
47	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
48	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H
49	LANDSCAPE LIGHT	REDA 8000	100W LED	7' H
50	LANDSCAPE LIGHT	REDA 8000	200W LED	7' H



NOTE: REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL ELECTRICAL ENGINEERING REQUIREMENTS.

07'0" = 30' SCALE

LL-1 SHEET NUMBER

PROJECT NUMBER: 03-03-2014

DATE: 03-03-2014

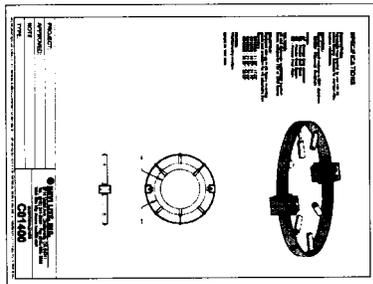
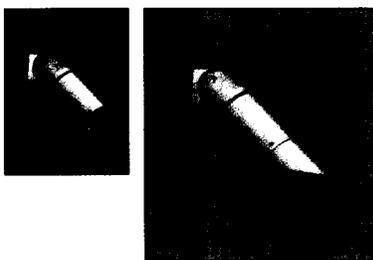
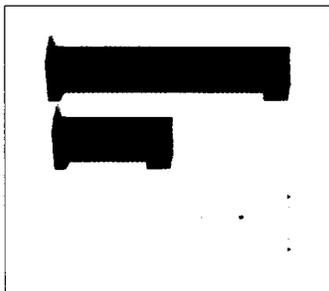
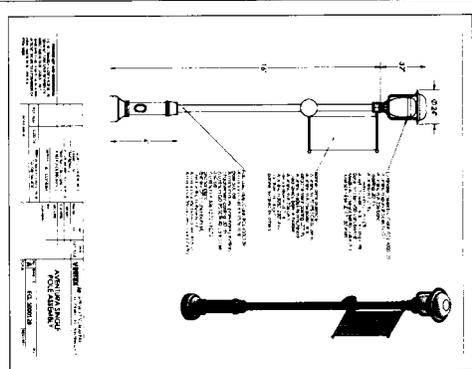
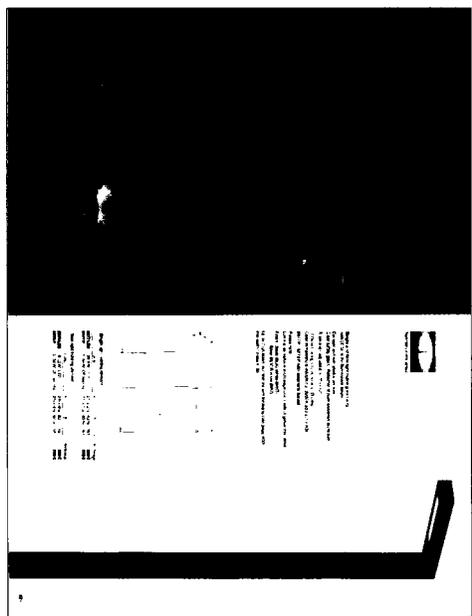
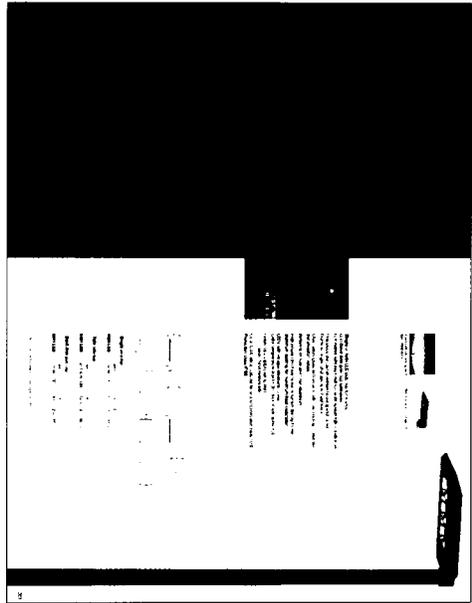
PROJECT NAME: PARK SQUARE AVENUE

SCALE: 1" = 30'

DRAWING: Site Lighting Plan

PROJECT: Park Square Aventura
City of Aventura, Florida

savinmiller
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING



NOTE: REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL ELECTRICAL ENGINEERING REQUIREMENTS



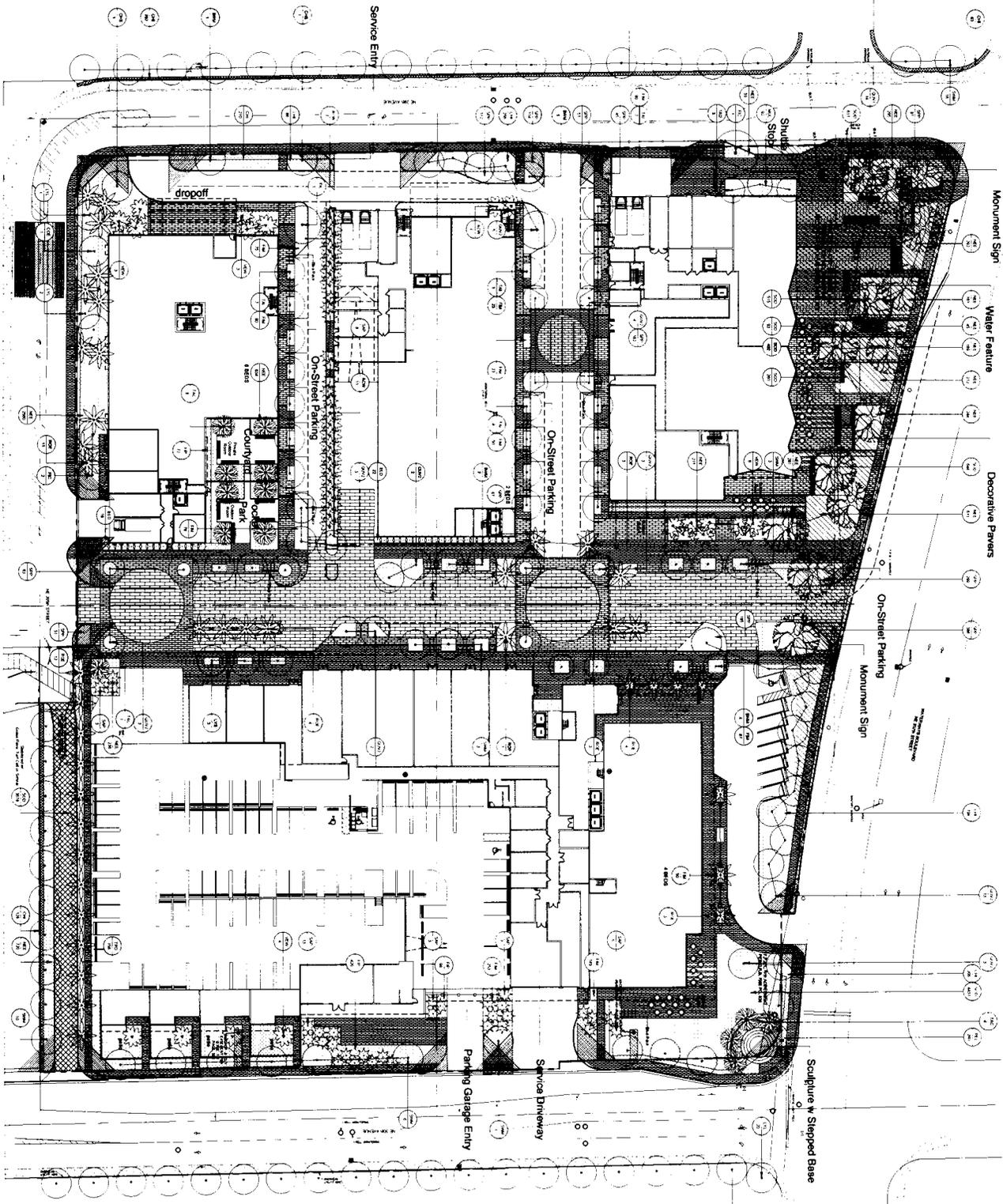
PROJECT
Park Square Aventura
City of Aventura, Florida

DRAWING
Site Lighting Schedule

DATE: 03-03-2014
PROJECT: PARK SQUARE AVENTURA
SHEET: NTS

SHEET NUMBER
LL-2





TOTAL SITE AREA: 7.4 ACRES
 PENDING AREA: 58,273 sf
 TOTAL OPEN AREA: 118,544 sf
 ROOF AREA: 85,207 sf
 ROOF OPEN SPACE AREA: 55,214 sf
 ROOF LANDSCAPE AREA: 20,000 sf
 ALL INVASIVE SPECIES ARE TO BE REMOVED.



Trees to be Centered 4 Feet from Back of Exist. Concrete Sidewalk, 25' O.C. Existing Concrete Sidewalk

0" 10' 30"



LP-1
 SHEET NUMBER

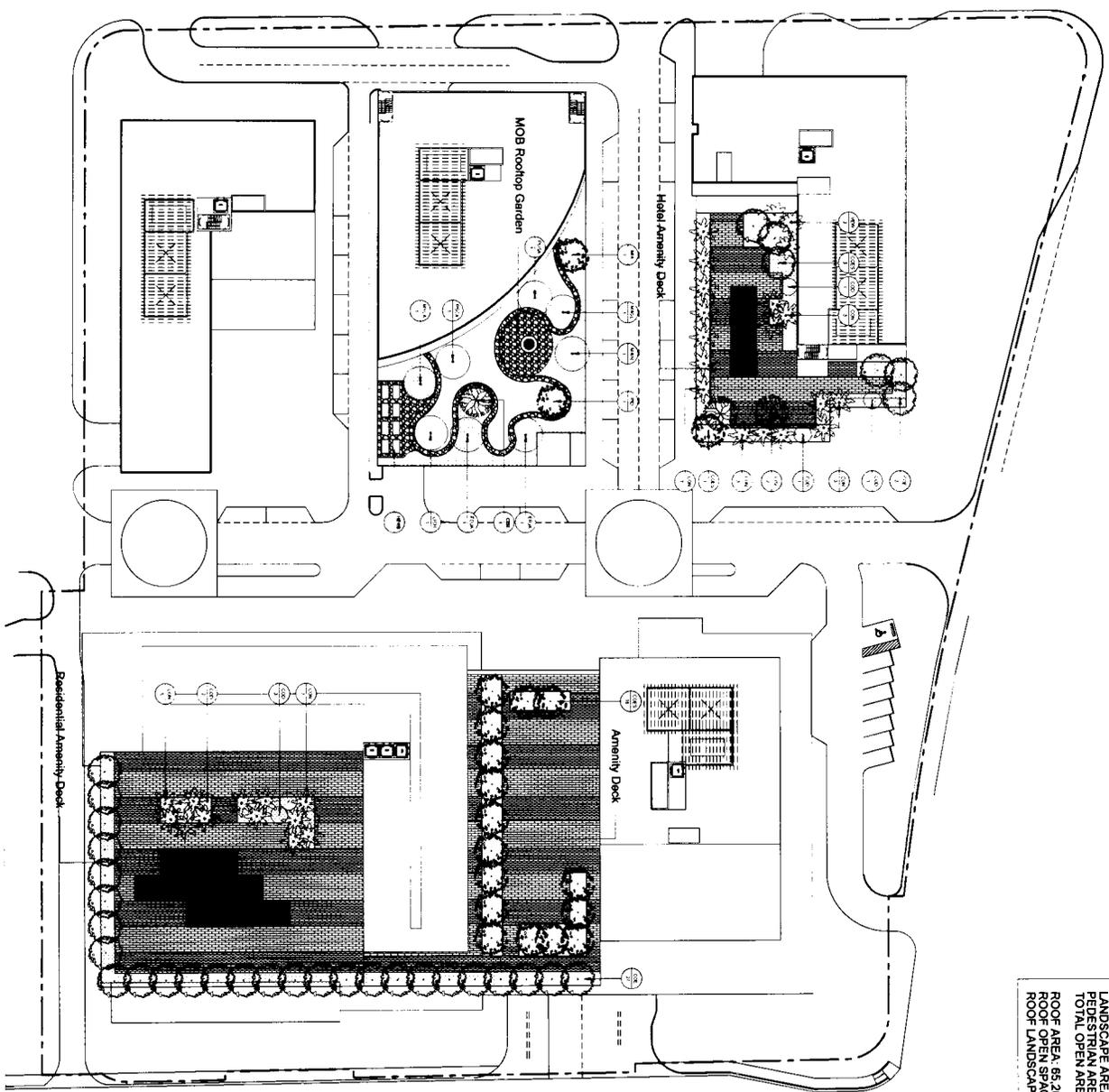
DATE: 03-03-2014

DRAWING
 Landscape Plan
 Ground Level

PROJECT
 Park Square Aventura
 City of Aventura, Florida



NO.	DESCRIPTION	QTY	UNIT	AMOUNT	PRICE	TOTAL
1	Site Preparation	1	Sq. Ft.	1,000,000	1.00	1,000,000
2	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
3	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
4	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
5	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
6	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
7	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
8	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
9	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
10	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
11	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
12	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
13	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
14	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
15	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
16	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
17	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
18	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
19	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
20	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
21	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
22	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
23	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
24	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
25	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
26	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
27	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
28	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
29	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
30	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
31	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
32	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
33	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
34	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
35	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
36	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
37	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
38	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
39	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
40	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
41	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
42	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
43	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
44	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
45	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000
46	Site Work	1	Sq. Ft.	1,000,000	1.00	1,000,000
47	Planting	1	Sq. Ft.	1,000,000	1.00	1,000,000
48	Water Features	1	Sq. Ft.	1,000,000	1.00	1,000,000
49	Lighting	1	Sq. Ft.	1,000,000	1.00	1,000,000
50	Structural	1	Sq. Ft.	1,000,000	1.00	1,000,000



TOTAL SITE AREA: 7.4 ACRES
 LANDSCAPE AREA: 57,271 SF
 PEDESTRIAN AREA: 59,273 SF
 TOTAL OPEN AREA: 118,544 SF
 ROOF AREA: 65,207 SF
 ROOF OPEN SPACE AREA: 55,214 SF
 ROOF LANDSCAPE AREA: 20,000 SF

1" = 30'
 NORTH

PROJECT NUMBER
 LP-2

DRAWING
 Landscape Plan
 Upper Levels

PROJECT
 Park Square Aventura
 City of Aventura, Florida



M-DWASD WATER & SEWER NOTES

WATER DISTRIBUTION SYSTEM

1. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN SPECIFICATIONS AND THE M-DWASD WATER MAIN DESIGN MANUAL.
2. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
3. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
4. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
5. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
6. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
7. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
8. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
9. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.
10. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE M-DWASD WATER MAIN DESIGN MANUAL.

MINIMUM	STANDARD	MAXIMUM
1.5"	18"	36"
0.5"	0.5"	0.5"
1.5"	18"	36"

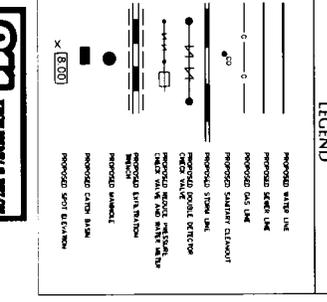
MINIMUM	STANDARD	MAXIMUM
1.5"	18"	36"
0.5"	0.5"	0.5"
1.5"	18"	36"

NOTE: THE DESIGN SHALL BE APPROVED BY THE CITY ENGINEER AND THE M-DWASD ENGINEER BEFORE CONSTRUCTION.

GENERAL NOTES AND SPECIFICATIONS

(NOT PART OF M-DWASD NOTES NOR APPROVAL)

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE M-DWASD SPECIFICATIONS AND THE M-DWASD DESIGN MANUAL.



LANGAN

17100 W. 10th Avenue, Suite 100, Denver, CO 80231

TEL: 303.751.1000

Project No. **C-2.0**

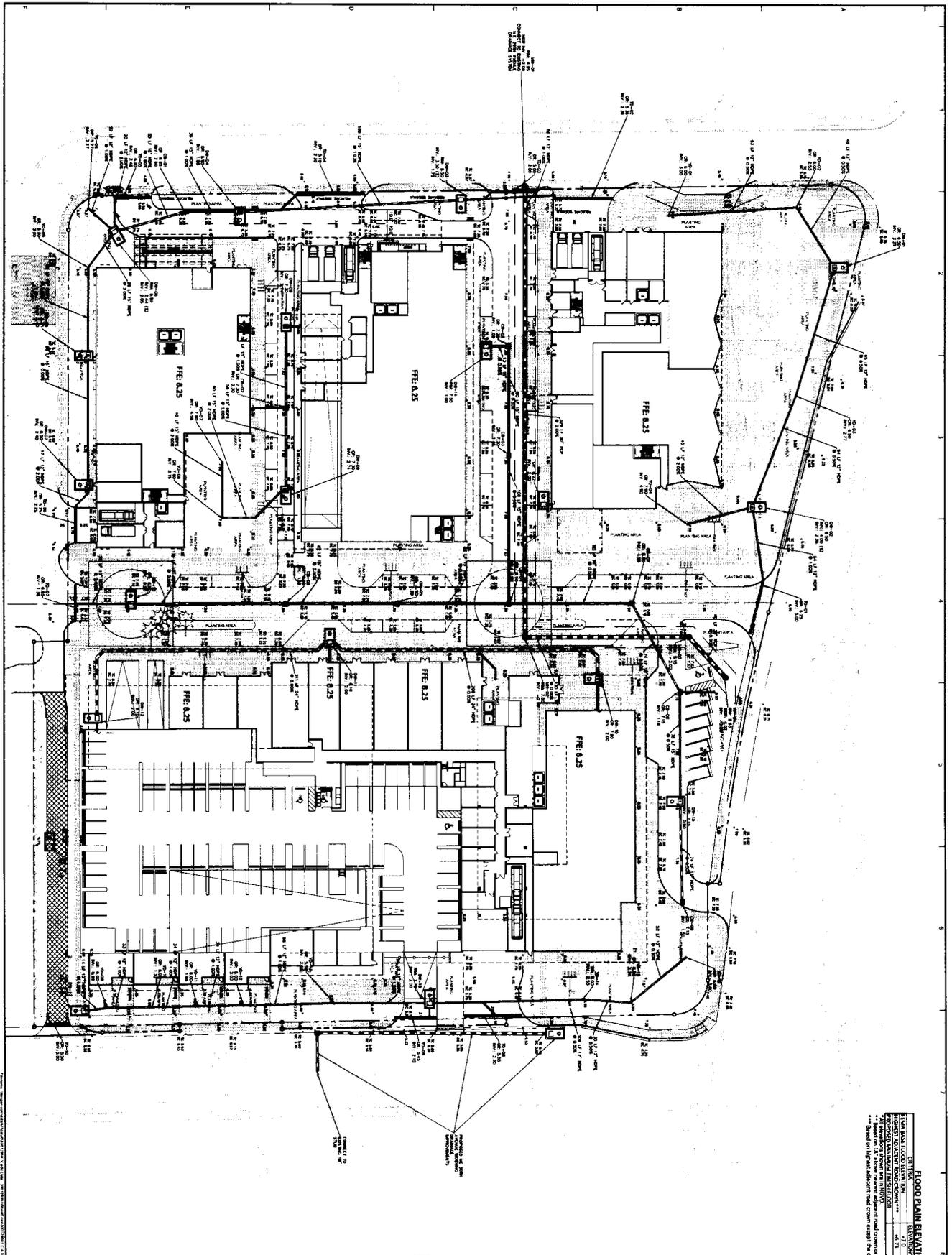
Client: **PARK SQUARE AVENTURA**

Location: **AVENTURA**

Scale: **N=1/8"=1'-0"**

Drawn By: **AVENTURA**

Checked By: **UA**



FLOOD PLAIN ELEVATION TABLE

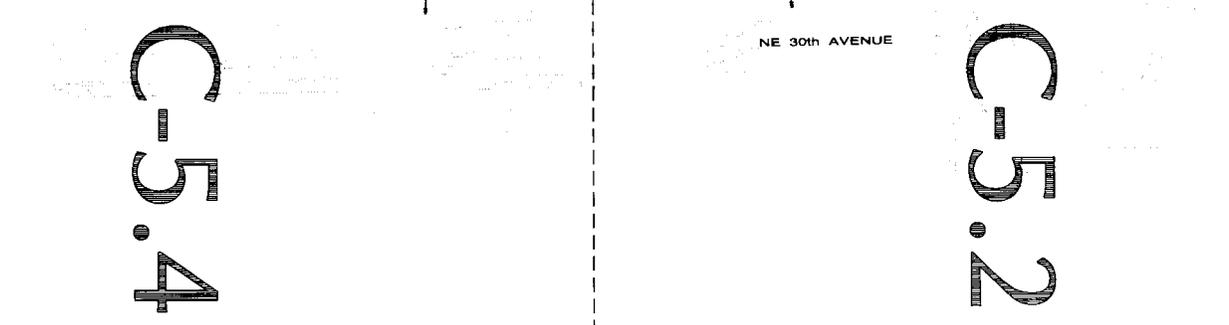
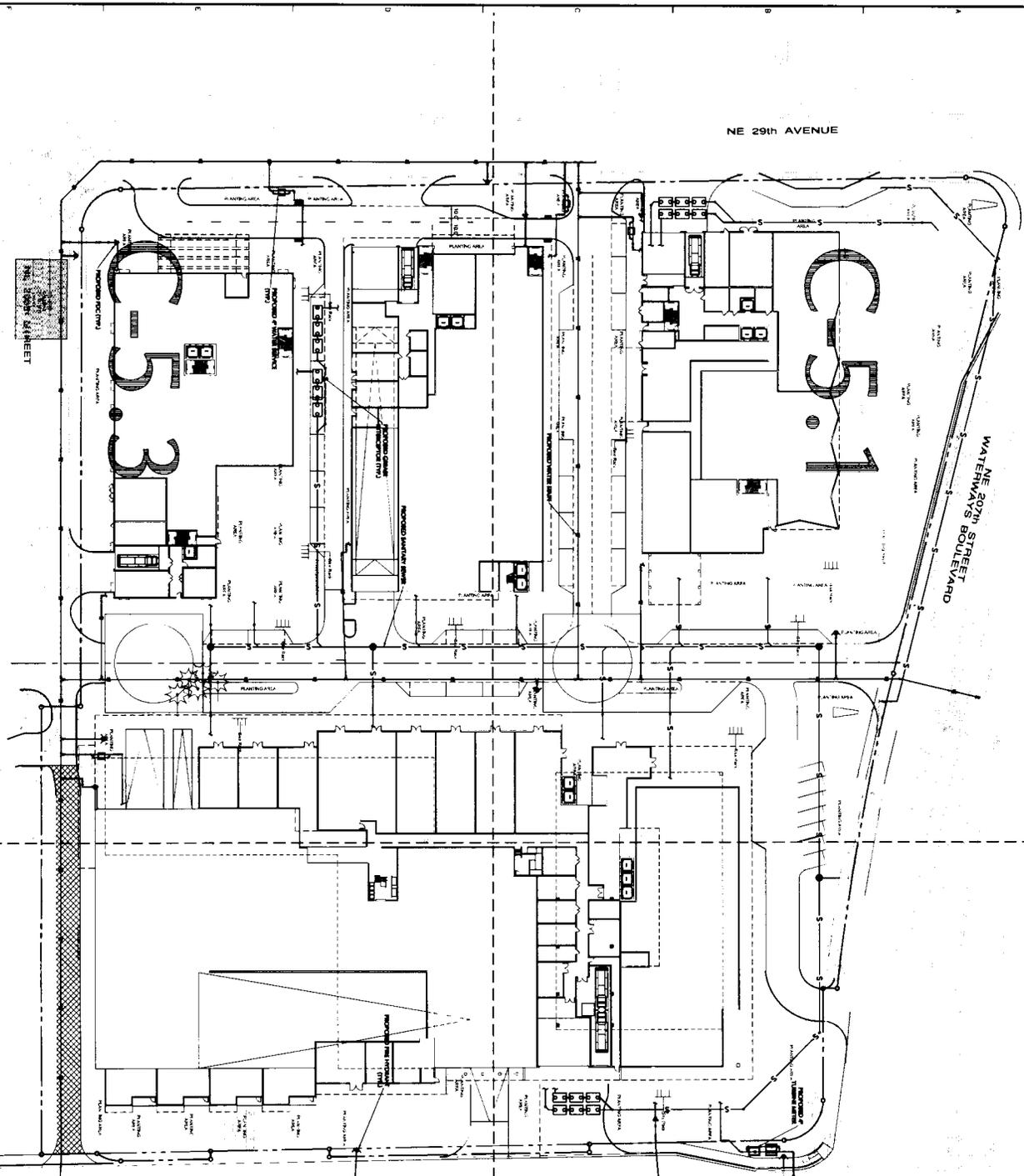
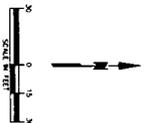
AREA	EXISTING ELEVATION	PROPOSED ELEVATION
HIGHWAY ADJACENT ROAD CORNER	4.37	4.33
ADJACENT ROAD CORNER	4.37	4.33

* Based on the Flood Hazard and Flood Control Act of 1974, Florida Statute, which sets a minimum standard for flood plain elevation.

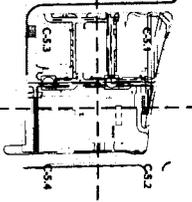
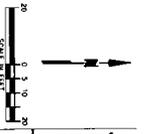
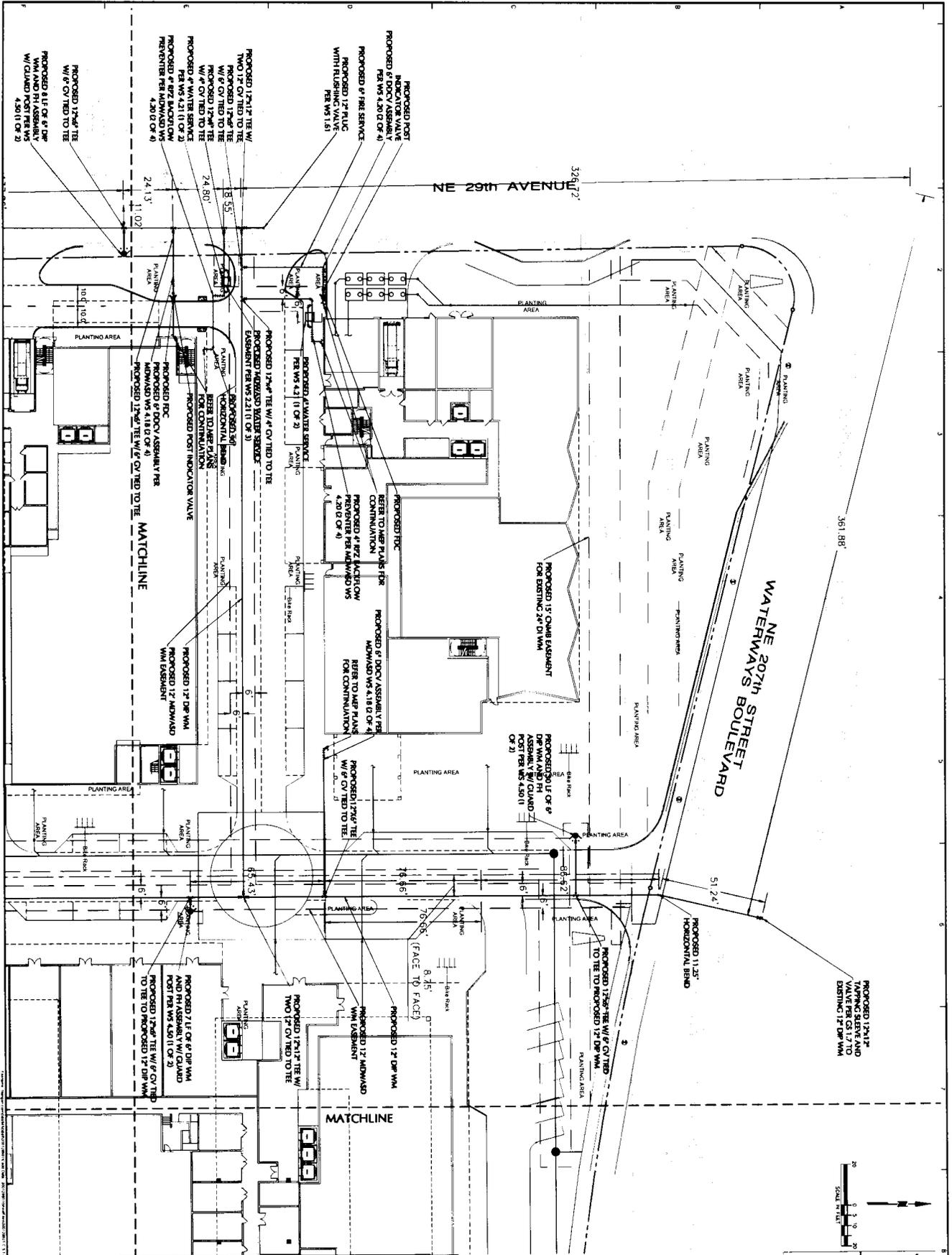
** Based on the Flood Hazard and Flood Control Act of 1974, Florida Statute, which sets a minimum standard for flood plain elevation.

<p>5/17/2014 Revises per City Comments</p>	
Date	Description
<p>REVISIONS</p>	
<p>LENNOR ROSENBLUT PROFESSIONAL ENGINEER - E.C. NO. 24888</p>	
<p>LANGAN</p>	
<p>PROJECT: PARK SQUARE AVENTURA APARTMENT</p>	
<p>PRELIMINARY GRADING AND DRAINAGE PLAN</p>	
<p>C-4.0</p>	

NOTE: PLAN NOT PART OF MIAMI-DADE WATER AND SEWER DEPARTMENT APPROVAL.



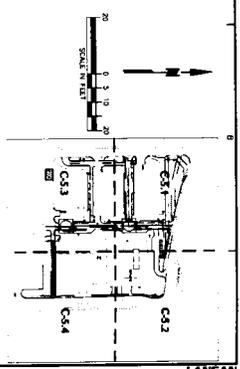
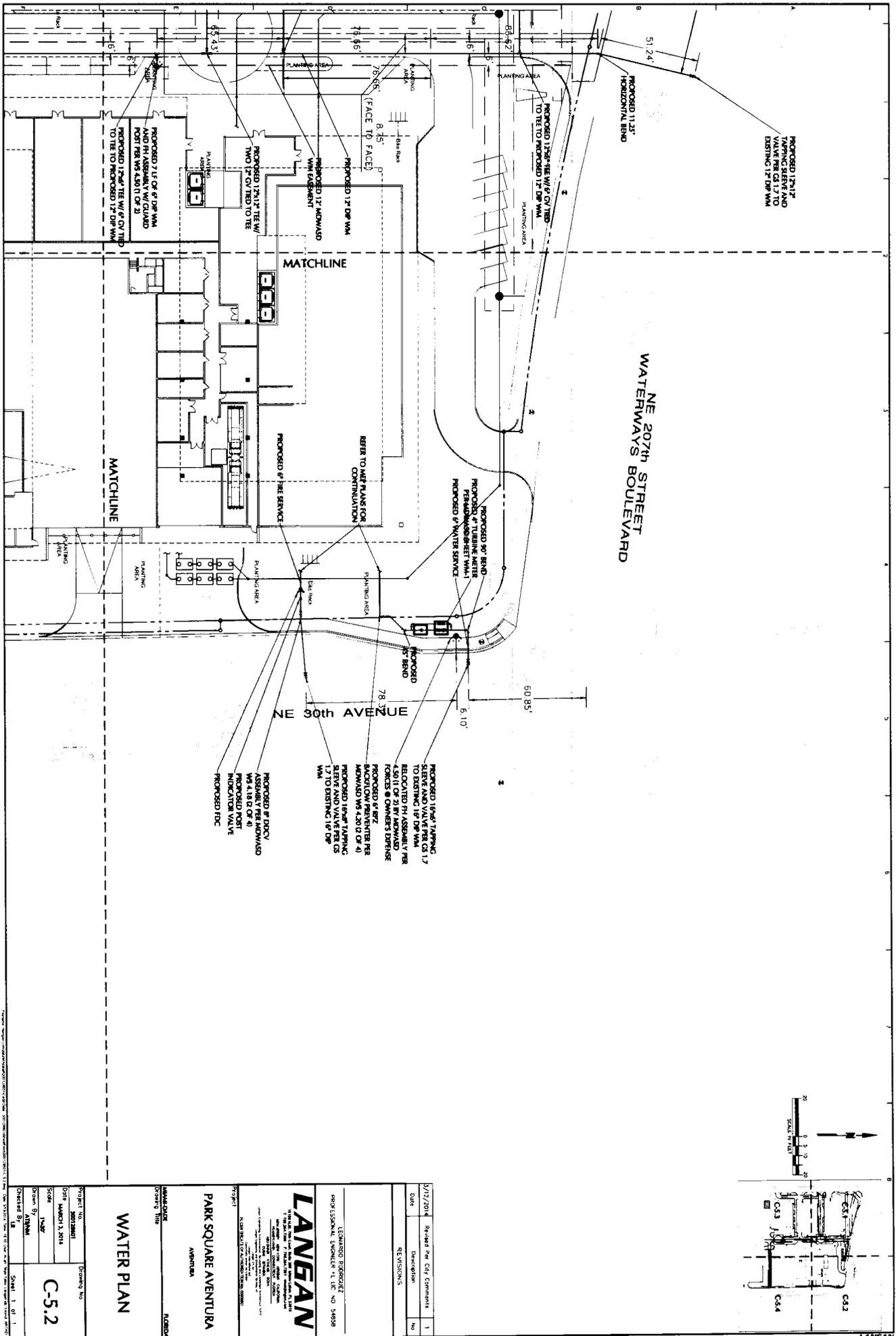
PROJECT NO. 30012601 DATE MARCH 3, 2014 SCALE 1/4" = 1'-0" DRAWN BY ALYNN CHECKED BY LA	SHEET NO. 1 OF 1
OVERALL UTILITY PLAN	C-5.0
PROJECT: PARK SQUARE AVENTURA APT. 101 FLORIDA	LANGAN LEONARD ROSENBLUT PROFESSIONAL ENGINEER 1, 05 40 3488 1101 N.W. 10th Street, Suite 1000 Fort Lauderdale, FL 33309 TEL: 954.577.1100 FAX: 954.577.1101 WWW.LANGAN.COM



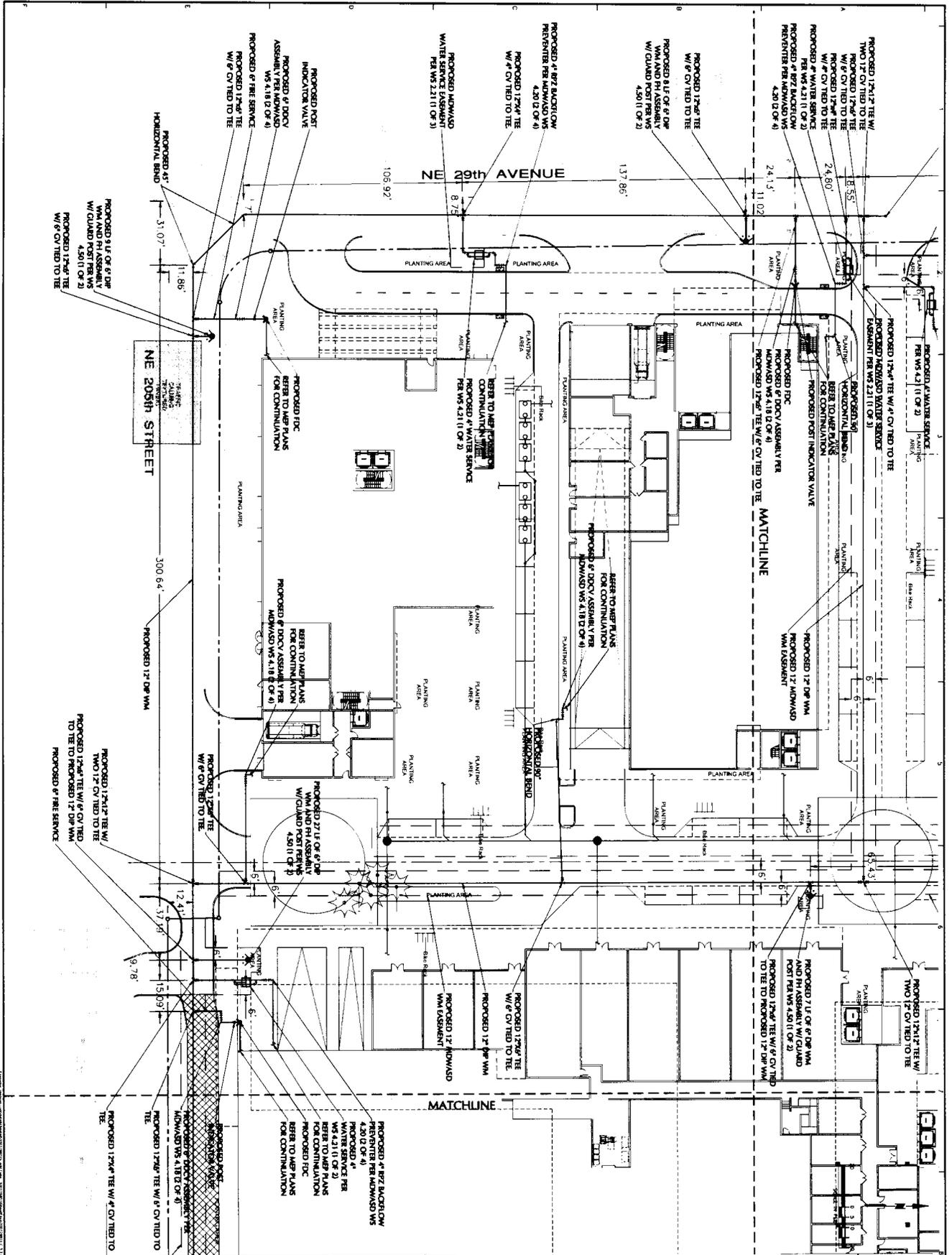
LANGAN CONSULTING ENGINEERS PROFESSIONAL ENGINEER (L.C.E. NO. 5488)	
DATE: 01/12/2011	REVISIONS:
DESIGNED BY: [Name]	NO. 1
CHECKED BY: [Name]	NO. 1
PROJECT NO. 300128601	DATE: MARCH 2, 2011
SCALE: 1/4" = 1'-0"	PROJECT: PARK SQUARE AVENTURA
DESIGNED BY: [Name]	PROJECT: WATER PLAN
CHECKED BY: [Name]	SCALE: C-5.1
PROJECT NO. 300128601	DATE: MARCH 2, 2011
SCALE: 1/4" = 1'-0"	PROJECT: PARK SQUARE AVENTURA
DESIGNED BY: [Name]	PROJECT: WATER PLAN
CHECKED BY: [Name]	SCALE: C-5.1

ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION PROJECT No. 300128601

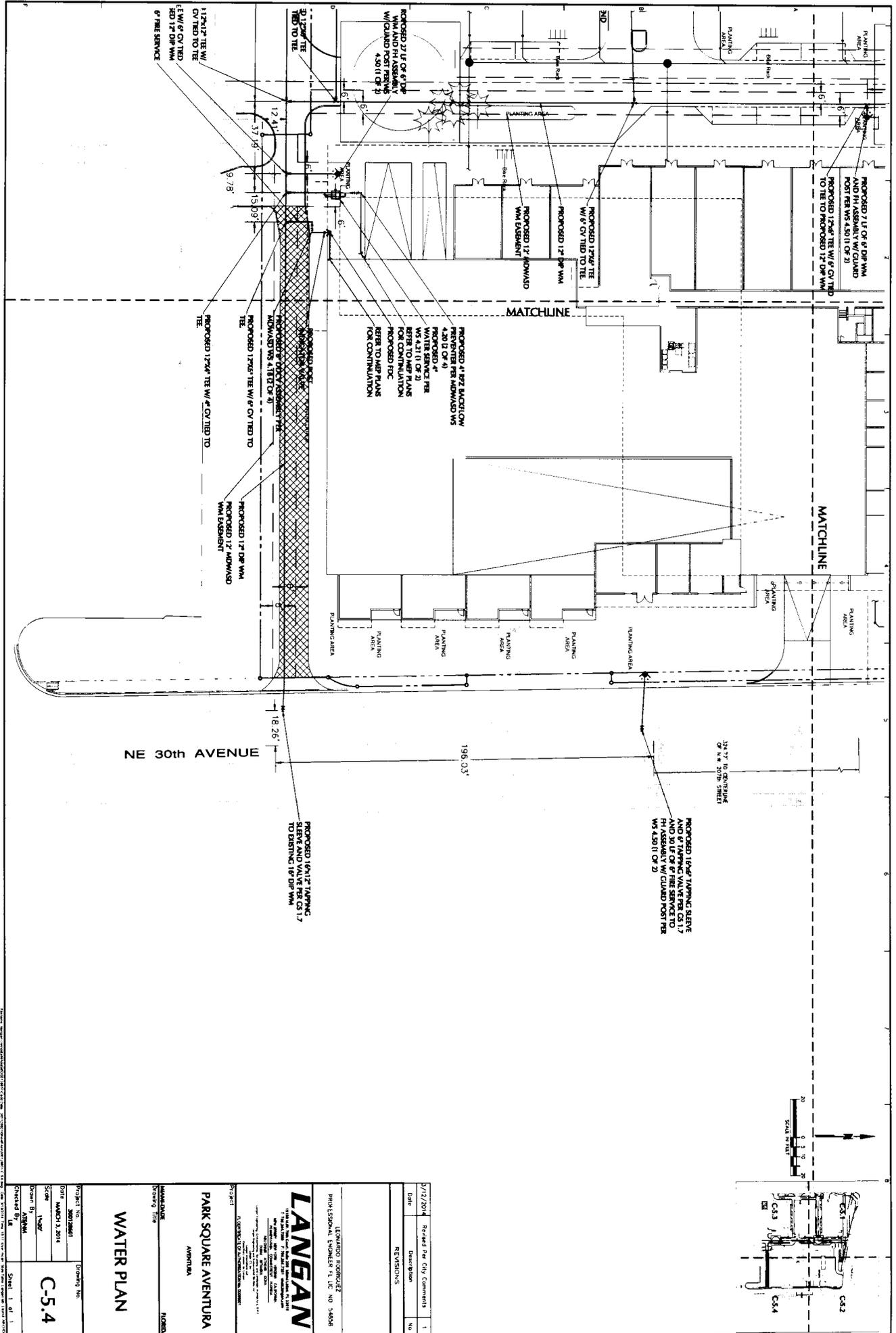
LANGAN



REVISIONS DATE: 5/17/2014 DESCRIPTION: Revised Per City Comments NO. 1	
PROJECT: LEONARDI RESORTS PROFESSIONAL SYMBOL: L.L.C. NO. 54889	
LANGAN 1700 N.W. 22nd Street, Suite 200, Fort Lauderdale, FL 33311 TEL: 954.333.3333 FAX: 954.333.3334 WWW.LANGAN.COM	
PROJECT: PARK SQUARE AVENTURA ADDRESS: AVENTURA, FLORIDA	
WATER PLAN	
PROJECT NO.: 300128601 DATE: MARCH 13, 2014 SCALE: 1/4" = 1'-0" DRAWN BY: ANTHONY CHECKED BY: L	DRAWING NO.: C-5.2 SHEET 1 OF 1



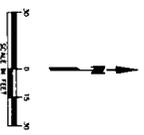
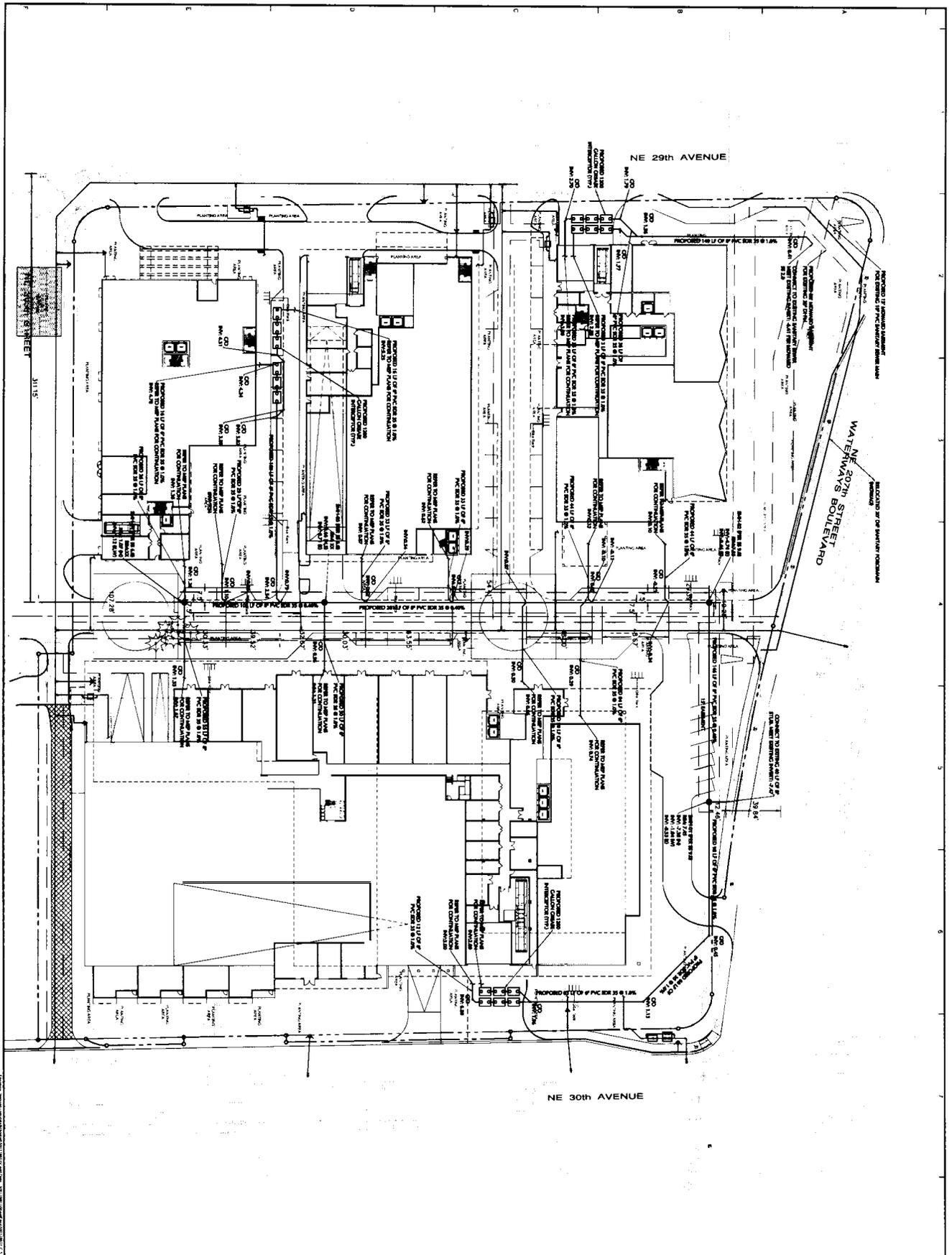
<p>PROJECT NO. 300128601</p> <p>DATE: MARCH 1, 2014</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DESIGNED BY: ANMM</p> <p>CHECKED BY: [Signature]</p> <p>SHEET 1 OF 1</p>	<p>DATE: 5/17/2014</p> <p>REVISIONS:</p> <p>1</p>	<p>EDUARDO ROBERTO LAMANA</p> <p>PROFESSIONAL ENGINEER - E.C. NO. 2488</p> <p>LANGAN</p> <p>1000 W. WASHINGTON AVENUE, SUITE 200, MIAMI, FL 33135</p> <p>TEL: 305.371.1111 FAX: 305.371.1112</p> <p>WWW.LANGAN.COM</p>	<p>PROJECT: PARK SQUARE AVENTURA</p> <p>CONTRACT TITLE: WATER PLAN</p> <p>CONTRACT NO. C-5.3</p>
--	---	--	--



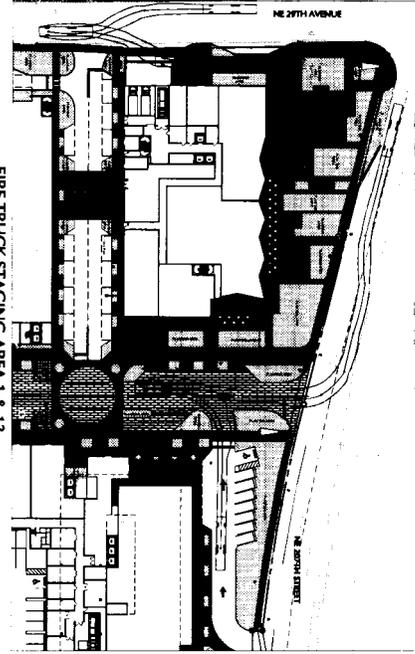
LANGAN ENGINEERS, ARCHITECTS & PLANNERS 1101 N.W. 10th Street, Suite 1000 Fort Lauderdale, FL 33304 Phone: (954) 577-1100 Fax: (954) 577-1101 www.langan.com		PROJECT: LEONARD ROSENBLUM PRO. SPECIAL EXPANSE 1, LOT NO. 5486
PROJECT NO. 20070001 DATE: MARCH 1, 2014 SCALE: 1/8" = 1'-0" DRAWN BY: ALYNN CHECKED BY: ALYNN	DIVISION NO. 1 SHEET NO. C-5.4 SHEET 1 OF 1	REVISIONS 1 9/12/2014 Revised Per City Comments

WATER PLAN

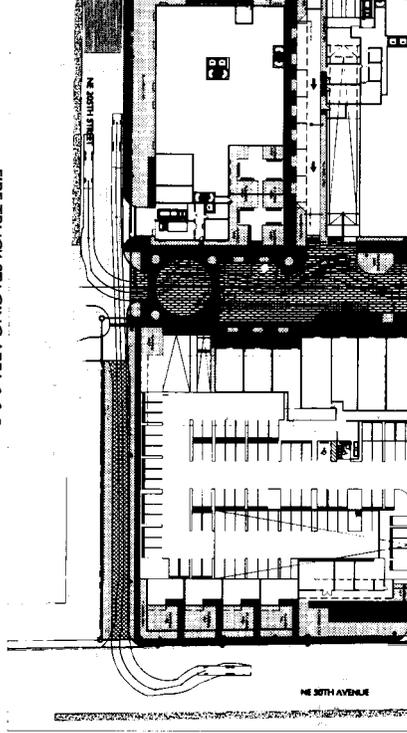
PARK SQUARE AVENTURA
 AVENTURA, FLORIDA



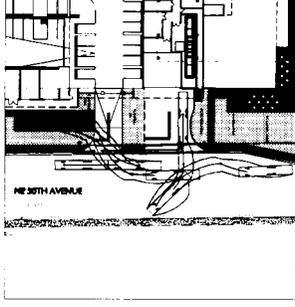
LEONARDO RODRIGUEZ PROJECT MANAGER PHONE: 305.444.8888 FAX: 305.444.8889 EMAIL: LRODRIGUEZ@LANEGAN.COM		PROJECT NO. 300128601	DRAWING NO. C-5.5
LANEGAN ENGINEERS, ARCHITECTS & INTERIORS 1100 N.W. 107th Avenue, Suite 100 Miami, Florida 33177 PHONE: 305.444.8888 FAX: 305.444.8889 WWW.LANEGAN.COM		DATE 07/2/2014	REVISIONS 1
PARK SQUARE AVENTURA APARTMENT FLORIDA		TITLE SANITARY SEWER PLAN	SCALE 1/8" = 1'-0"
DRAWN BY ATYAN		SHEET 1 OF 1	



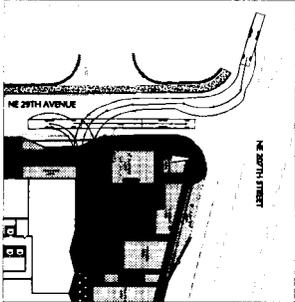
FIRE TRUCK STAGING AREA 1 & 13



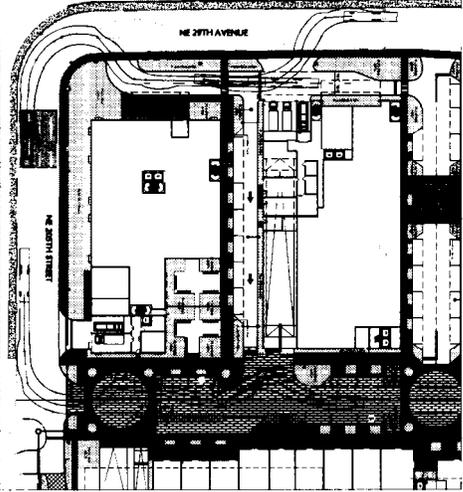
FIRE TRUCK STAGING AREA 3 & 8



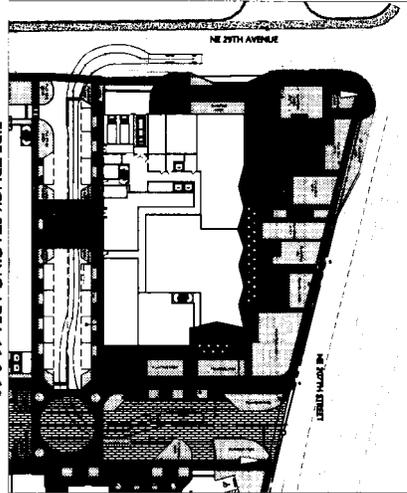
FIRE TRUCK STAGING AREA 2 & 16



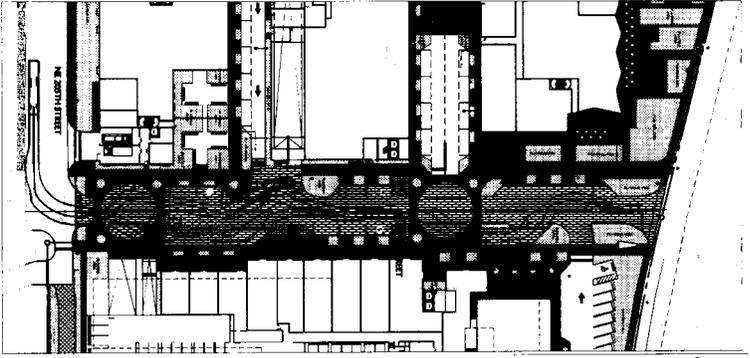
FIRE TRUCK STAGING AREA 14



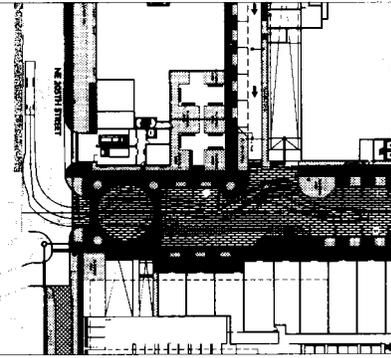
FIRE TRUCK STAGING AREA 9 & 10



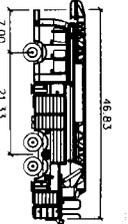
FIRE TRUCK STAGING AREA 11 & 12



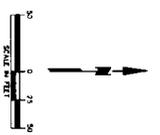
FIRE TRUCK STAGING AREA 4, 5 & 15



FIRE TRUCK STAGING AREA 6 & 7



7.00 21.33 46.83
 Miami Dodge
 Length 46.83 feet
 Width 7.00 feet
 Lock to lock Time 6.00
 Steering Angle 30.0



Date	Revised Per City Comments	Description	Revision
5/17/2014			1

LEONARDO ROMERO
 PROFESSIONAL CONSULTANT IN THE NO. 24008

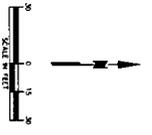
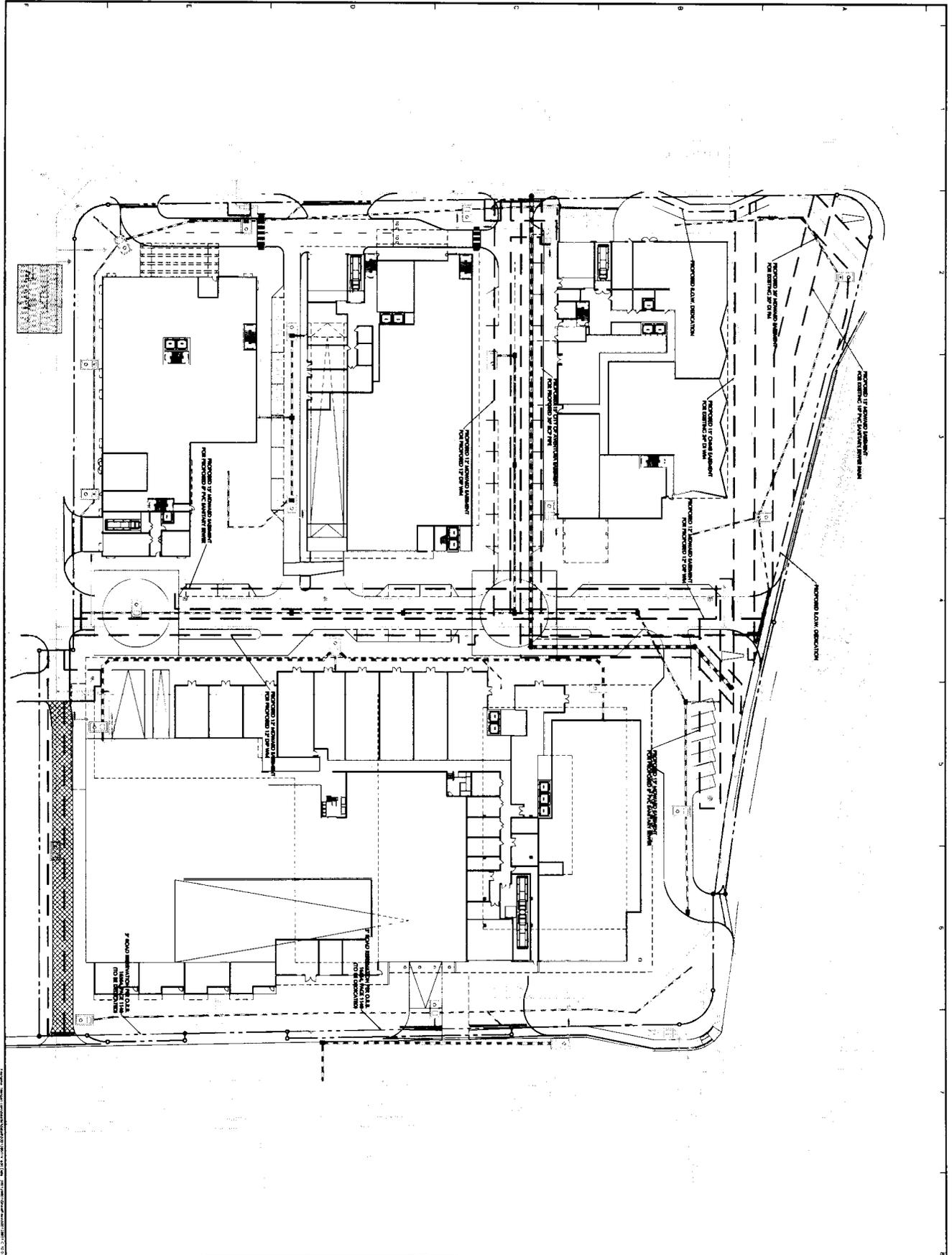
LANGAN
 1000 N.W. 107th Ave., Suite 100, Miami, FL 33177
 Phone: (305) 555-1100 Fax: (305) 555-1101
 www.langan.com

PROJECT
 PARK SQUARE AVENTURA
 AVENTURA, FLORIDA

DESIGNED BY
VEHICULAR CIRCULATION PLAN

PROJECT NO. 300128601
 DRAWING NO. C-9.0
 DATE MARCH 5, 2014
 SCALE 1/4" = 1'-0"

DESIGNED BY: MM
 CHECKED BY: MM
 PROJECT NO. 300128601



DATE	DESCRIPTION	NO.
5/12/2014	Revised Per City Comments	1
REVISIONS		
<p>LEONARDOS ROBERTOZ PROFESSIONAL CORP. L.C. NO. 94586</p> <p>LANGAN</p> <p>10000 N.W. 12th Street, Suite 1000 Miami, Florida 33158 Phone: 305.575.1100 Fax: 305.575.1101 www.langan.com</p>		
PROJECT	PARK SQUARE AVENTURA	
AVENUE	AVENTURA	
OWNER	TRISTAR	
DESIGNER	LANGAN	
DATE	DECEMBER 12, 2013	
SCALE	1/8" = 1'-0"	
DESIGNED BY	ALMCK	
CHECKED BY	ALMCK	
PROJECT NO.	300128601	DRAWING NO.
C-10.0		
EASEMENT & RIGHT-OF-WAY DEDICATION PLAN		
Sheet 1 of 1		



APPLICANT REPRESENTATIVE AFFIDAVIT

Pursuant to Section 31-71(b)(2)(i) of the City of Aventura Land Development Code, this Applicant Representative Affidavit is hereby made and submitted. The undersigned authorized representative of the individual or entity applying for the Development Permit, which is identified in the accompanying application, and the owner of the property subject to the application (if different) hereby lists and identifies all persons representing the individual or entity applying for the Development Permit in connection with the application, as follows:

Table with 2 columns: Name, Relationship. Rows include Mickey Marrero (Attorney), Bernard Zyscovich (Architect), Suria Yaffer (Architect), Jeff Berrow (Attorney), and Juan Espinosa (Traffic Engineer). Includes a note: (Attach Additional Sheets If Necessary)

NOTICE: ANY STATEMENT OR REPRESENTATION MADE BY ANY PERSON LISTED ON THE APPLICANT REPRESENTATIVE AFFIDAVIT SHALL BE BINDING UPON THE INDIVIDUAL OR ENTITY APPLYING FOR THE DEVELOPMENT PERMIT AND THE OWNER OF THE SUBJECT PROPERTY. APPLICANTS AND AFFIANTS ARE ADVISED TO TIMELY SUPPLEMENT THIS AFFIDAVIT PURSUANT TO SEC. 31-71(B)(2)(IV) OF THE CITY'S LAND DEVELOPMENT REGULATIONS IN THE CITY CODE, IN THE EVENT THAT PRIOR TO CONSIDERATION OF THE APPLICATION BY THE CITY BOARD OR COMMISSION, THE INFORMATION PROVIDED IN THE AFFIDAVIT BECOMES INCORRECT OR INCOMPLETE.

WITNESS MY HAND THIS 3 DAY OF March 2014

AUTHORIZED REPRESENTATIVE OF APPLICANT:

By: [Signature]
Name: Michael J. Marrero
Title: Attorney
Address: 200 S. Biscayne Blvd, #850 Miami, FL 33131

OWNER

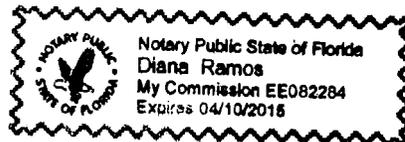
By: [Signature]
Name: Steve Sorenson
Title: Chief Development Officer
Address: 150 SE 2nd Ave, #800 Miami, FL 33131

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me the undersigned authority personally appeared Michael J. Marrero as the authorized representative of the Applicant and/or the owner of the property subject to the application, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

SWORN TO AND SUBSCRIBED BEFORE ME this 3 day of March 2014

AFFIANT [Signature]
Notary Public State of Florida At Large
Printed Name of Notary Diana Ramos
My commission expires:



Additional Applicant Representatives

Name

Relationship

Barry Miller

landscape architect

John Sharon

landscape architect

Leonardo Rodriguez

civil engineer

Michael Carr

civil engineer



BUSINESS RELATIONSHIP AFFIDAVIT*

This Affidavit is made pursuant to Section 31-71(b)(2)(ii) of the City of Aventura Land Development Code. The undersigned Affiant hereby discloses that (mark with "x" applicable portions only)

1. Affiant does not have a Business Relationship with any member of the City Commission or any City Advisory Board to which the application will be presented.

2. Affiant hereby discloses that it does have a Business Relationship with a member of the City Commission or a City Advisory Board to which the application will be presented, as follows:

_____ (List name of Commissioner or Advisory Board Member) who serves on the _____ (List City Commission or City Advisory Board upon which member serves).

The nature of the Business Relationship is as follows:

- i. Member of City Commission or Board holds an ownership interest in excess of 1% of total assets or capital stock of Applicant or Representative;
- ii. Member of City Commission or Board is a partner, co-shareholder (as to shares of a corporation which are not listed on any national or regional stock exchange) or joint venturer with the Applicant or Representative in any business venture;
- iii. The Applicant or Representative is a Client of a member of the City Commission or Board or a Client of another professional working from the same office or for the same employer as the member of the City Commission or Board;
- iv. A City Commissioner or Board member is a Client of the Applicant or Representative;
- v. The Applicant or Representative is a Customer of the member of the City Commission or Board (or of his or her employer) and transacts more than \$10,000.00 of the business of the member of the City Commission or Board (or his or her employer) in a given calendar year;
- vi. The member of the City Commission or Board is a Customer of the Applicant or Representative and transacts more than \$25,000.00 of the business of the Applicant or Representative in a given calendar year.

WITNESS MY HAND THIS 21 DAY OF February, 2004

APPLICANT:

By: [Signature] (Signature)
Name: Michael J. Marro (Print)
Title: Attorney (Print)

WITNESS MY HAND THIS 21 DAY OF February, 2004

PROPERTY OWNER:

By: [Signature] (Signature)
Name: Steve Sorensen (Print)
Title: Chief Development officer (Print)

*The terms "Business Relationship," "Client," "Customer," "Applicant," "Representative" and "Interested Person" are defined in Section 2-395 of the Aventura City Code.

WITNESS MY HAND THIS 3rd DAY OF March 2014

REPRESENTATIVE: (Listed on Business Relationship Affidavit)

By: [Signature] (Signature)

Name: Bernard Zyscovich (Print)

Title: Architect (Print)

By: [Signature] (Signature)

Name: Suria Yaffar (Print)

Title: Architect (Print)

By: [Signature] (Signature)

Name: Mickey Marrero (Print)

Title: Attorney (Print)

By: [Signature] (Signature)

Name: Michael Carr (Print)

Title: Civil Engineer (Print)

By: _____ (Signature)

Title: _____ (Print)

Title: _____ (Print)

By: _____ (Signature)

Title: _____ (Print)

Title: _____ (Print)

By: [Signature] (Signature)

Name: Juan Espinosa (Print)

Title: Traffic Engineer (Print)

By: [Signature] (Signature)

Name: Barry Miller (Print)

Title: Landscape Architect (Print)

By: [Signature] (Signature)

Name: Leonardo ~~Sanchez~~ Rodriguez (Print)

Title: Civil Engineer (Print)

By: [Signature] (Signature)

Name: BRANT LITTON (Print)

Title: Landscape Architect (Print)

By: _____ (Signature)

Title: _____ (Print)

Title: _____ (Print)

By: _____ (Signature)

Title: _____ (Print)

Title: _____ (Print)

NOTE: 1) Use duplicate sheets if disclosure information for Representative varies

2) Applicants and Affiants are advised to timely supplement this Affidavit pursuant to Sec. 31-71(b)(2)(iv) of the City's Land Development Regulations in the City Code, in the event that prior to consideration of the application by the City Board or Commission, the information provided in the Affidavit becomes incorrect or incomplete.

WITNESS MY HAND THIS 20 DAY OF March, 2004

REPRESENTATIVE: (Listed on Business Relationship Affidavit)

By: [Signature] (Signature)
Name: Jeffrey Bercow (Print)
Title: Attorney (Print)

By: _____ (Signature)
Name: _____ (Print)
Title: _____ (Print)

By: _____ (Signature)
Name: _____ (Print)
Title: _____ (Print)

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By: _____ (Signature)
Title: _____ (Print)
Title: _____ (Print)

NOTE: 1) Use duplicate sheets if disclosure information for Representative varies

2) Applicants and Affiants are advised to timely supplement this Affidavit pursuant to Sec. 31-71(b)(2)(iv) of the City's Land Development Regulations in the City Code, in the event that prior to consideration of the application by the City Board or Commission, the information provided in the Affidavit becomes incorrect or incomplete.

NOTARIZATION PROVISION

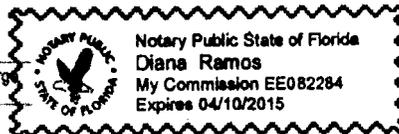
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Bernard Zysowich the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



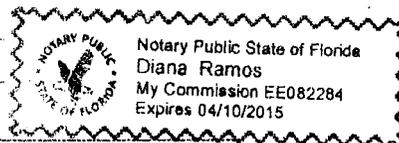
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Suria Yaffar the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



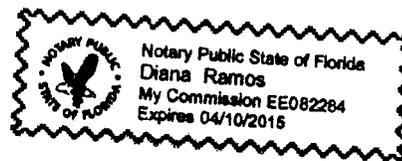
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Mickey Marroon the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



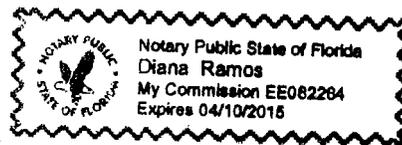
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Ivan Espinosa the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



NOTARIZATION PROVISION

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Leonardo Rodriguez the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



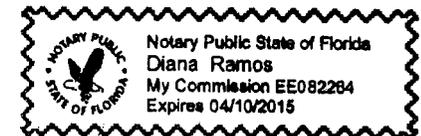
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Barry Miller the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



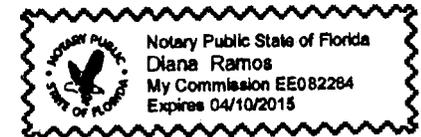
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared John T. Shera the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



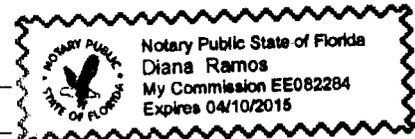
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Michael Carr the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 3 day of March, 2014

[Signature]
Notary Public State of Florida At Large
Diana Ramos
Printed Name of Notary
My commission expires: _____



NOTARIZATION PROVISION

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared Jeffrey Berrow the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

[Handwritten Signature]
AFFIANT

SWORN TO AND SUBSCRIBED before me this 20th day of March, 2014



[Handwritten Signature]
Notary Public State of Florida At Large
CRISTINA D. GONZALEZ
Printed Name of Notary
My commission expires: _____

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____ the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____, 200__

Notary Public State of Florida At Large
Printed Name of Notary
My commission expires: _____

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____ the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____, 200__

Notary Public State of Florida At Large
Printed Name of Notary
My commission expires: _____

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____ the Affiant, who being first by me duly sworn, did swear or affirm that he/she executed this Affidavit for the purposes stated therein and that it is true and correct.

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____, 200__

Notary Public State of Florida At Large
Printed Name of Notary
My commission expires: _____



BUSINESS RELATIONSHIP AFFIDAVIT*

This Affidavit is made pursuant to Section 31-71(b)(2)(ii) of the City of Aventura Land Development Code. The undersigned Affiant hereby discloses that (mark with "x" applicable portions only)

- 1. Affiant does not have a Business Relationship with any member of the City Commission or any City Advisory Board to which the application will be presented
- 2. Affiant hereby discloses that it does have a Business Relationship with a member of the City Commission or a City Advisory Board to which the application will be presented, as follows

_____ (List name of Commissioner or Advisory Board Member) who serves on the
 _____ (List City Commission or City Advisory Board upon which member serves)

The nature of the Business Relationship is as follows

- i. Member of City Commission or Board holds an ownership interest in excess of 1% of total assets or capital stock of Applicant or Representative.
- ii. Member of City Commission or Board is a partner, co-shareholder (as to shares of a corporation which are not listed on any national or regional stock exchange) or joint venturer with the Applicant or Representative in any business venture.
- iii. The Applicant or Representative is a Client of a member of the City Commission or Board or a Client of another professional working from the same office or for the same employer as the member of the City Commission or Board.
- iv. A City Commissioner or Board member is a Client of the Applicant or Representative.
- v. The Applicant or Representative is a Customer of the member of the City Commission or Board (or of his or her employer) and transacts more than \$10,000.00 of the business of the member of the City Commission or Board (or his or her employer) in a given calendar year.
- vi. The member of the City Commission or Board is a Customer of the Applicant or Representative and transacts more than \$25,000.00 of the business of the Applicant or Representative in a given calendar year.

WITNESS MY HAND THIS 24 DAY OF MARCH ~~200~~ 2014

APPLICANT
 By [Signature] (Signature)
 Name DANIEL FOLTA (Print)
 Title VP - FRONT LEADY SKILLS (Print)

WITNESS MY HAND THIS 24 DAY OF MARCH ~~200~~ 2014

PROPERTY OWNER

By _____ (Signature)
 Name _____ (Print)
 Title _____ (Print)

*The terms "Business Relationship," "Client," "Customer," "Applicant," "Representative" and "Interested Person" are defined in Section 2-395 of the Aventura City Code

WITNESS MY HAND THIS 24th DAY OF MARCH 200-2014

REPRESENTATIVE (Listed on Business Relationship Affidavit)

By [Signature] (Signature)

Name DAVID FORN JL (Print)

Title VP - FORM LEADY SKILLS (Print)

By _____ (Signature)

Name _____ (Print)

Title _____ (Print)

By _____ (Signature)

Name _____ (Print)

Title _____ (Print)

By _____ (Signature)

Name _____ (Print)

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Title _____ (Print)

By _____ (Signature)

Title _____ (Print)

Title _____ (Print)

NOTE: 1) Use duplicate sheets if disclosure information for Representative varies

2) Applicants and Affiants are advised to timely supplement this Affidavit pursuant to Sec. 31-71(b)(2)(iv) of the City's Land Development Regulations in the City Code, in the event that prior to consideration of the application by the City Board or Commission, the information provided in the Affidavit becomes incorrect or incomplete.

NOTARIZATION PROVISION

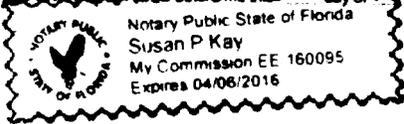
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared DANIEL FORTALIA
executed this Affidavit for the purposes stated therein and that it is true and correct

[Signature]
AFFIANT

the Affiant, who being first by me duly sworn, did swear or affirm that he/she

SWORN TO AND SUBSCRIBED before me this 04 day of MARCH 20014



[Signature]
Notary Public State of Florida At Large
Printed Name of Notary SUSAN P. KAY
My commission expires 04-06-2016

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____
executed this Affidavit for the purposes stated therein and that it is true and correct

the Affiant, who being first by me duly sworn, did swear or affirm that he/she

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____ 200__

Notary Public State of Florida At Large
Printed Name of Notary _____
My commission expires _____

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____
executed this Affidavit for the purposes stated therein and that it is true and correct

the Affiant, who being first by me duly sworn, did swear or affirm that he/she

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____ 200__

Notary Public State of Florida At Large
Printed Name of Notary _____
My commission expires _____

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

Before me, the undersigned authority, personally appeared _____
executed this Affidavit for the purposes stated therein and that it is true and correct

the Affiant, who being first by me duly sworn, did swear or affirm that he/she

AFFIANT

SWORN TO AND SUBSCRIBED before me this _____ day of _____ 200__

Notary Public State of Florida At Large
Printed Name of Notary _____
My commission expires _____

RESOLUTION NO. 2014-__

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA GRANTING CONDITIONAL USE APPROVAL TO PERMIT HEIGHTS THAT EXCEED 4 STORIES OR 50 FEET; CONDITIONAL USE APPROVAL TO PERMIT DRIVEWAY SEPARATIONS WITH LESS THAN 150 FEET OF LANDSCAPED FRONTAGE; AND CONDITIONAL USE APPROVAL TO PERMIT ALLOCATION OF INTERIOR SPACES OTHER THAN THOSE PERMITTED IN SECTION 31-145(d)(8) OF THE CITY CODE, FOR THE PARK SQUARE NEIGHBORHOOD MIXED USE DEVELOPMENT ON THE SOUTH SIDE OF NE 207 STREET BETWEEN NE 29 AVENUE AND NE 30 AVENUE WITHIN THE TC3, TOWN CENTER NEIGHBORHOOD DISTRICT IN THE CITY OF AVENTURA; PROVIDING FOR CONDITIONS OF APPROVAL; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the property described herein is zoned TC3, Town Center Neighborhood District and is specifically described in Exhibit "A" to this Resolution; and

WHEREAS, the applicant, Aventura Land Ventures LLC, through Application No. 02-CU-14, is requesting Conditional Use approval to permit heights that exceed 4 stories or 50 feet; to permit driveway separations with less than 150 feet of landscaped frontage and to permit allocation of interior spaces other than those permitted in Section 31-145(d)(8) of the City Code; and

WHEREAS, the applicant, Aventura Land Ventures LLC, has proffered to fulfill all conditions of City of Aventura Resolution No. 2006-61; and

WHEREAS, the City Commission held a quasi-judicial public hearing as provided by law to review the application; and

WHEREAS, the City Commission finds that the Application meets the criteria of the applicable codes and ordinances, to the extent the Application is granted.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, THAT:

Section 1. Application for Conditional Use to permit heights greater than 4 stories or 50 feet; to permit driveway separations with less than 150 feet of landscaped frontage and to permit allocation of interior spaces other than those permitted in Section 31-145(d)(8) of the City Code for the Park Square mixed-use project on the south side of NE 207 Street between NE 29 Avenue and NE 30 Avenue and more particularly described in Exhibit "A" to this Resolution is hereby granted subject to the following conditions:

1. The applicant shall obtain building permits for all buildings within the proposed development within 24 months of the date of the approving resolution, failing which this approval shall be void. The applicant may request one six month extension of time to obtain building permits and the City Commission may, by resolution or motion, grant such extension of time upon a showing of good cause by the applicant.
2. No Temporary Certificate of Occupancy or final Certificate of Occupancy shall be issued for any individual building within the development until such time as building permits for all buildings within the development have been issued by the City and construction of those buildings has commenced, provided that the City Manager is authorized to release this condition if the applicant demonstrates to the City Manager's satisfaction that this condition will prevent financing of the development components.
3. No building permit will be issued by the City for the residential/general office building portion of this development until the City has issued building permits for the west garage/medical office component and the City has issued building permits for either the assisted living facility or the hotel component.
4. Plans shall substantially comply with those submitted, as follows:
 - "Park Square Aventura", Cover Sheet, prepared by Zyscovich Architects, dated March 18, 2014.
 - "Park Square Aventura", Sheet G-00, Location Map and Index, prepared by Zyscovich Architects, dated, signed and sealed March 18, 2014.

- “Park Square Aventura”, Sheet A-00, Renderings, prepared by Zyscovich Architects, dated, signed and sealed March 18, 2014.
- “Park Square Aventura”, Sheet A-01, Site Data Information, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-02, Site Setback Diagram, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-03, Off-Site Sketch, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-10, Ground Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-11, Mezzanine Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-12, Second Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-13, Third Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-14, Fourth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-15, Fifth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-16, Sixth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-17, Seventh Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-18, Eighth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-19, Ninth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-20, Tenth Floor Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, A-21, Eleventh and Twelfth Floor Plans, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-22, Roof Plan, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-30, Overall North and East Elevation, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-31, Overall South and West Elevation, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet A-32, East Building Res. Cross Sections, prepared by Zyscovich Architects, dated, signed and sealed 3/18/14.
- “Park Square Aventura”, Sheet LT-1, Tree Management Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
- “Park Square Aventura”, Sheet LH-1, Site Hardsurface Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.

- “Park Square Aventura”, Sheet LH-2, Site Hardsurface Schedule, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
 - “Park Square Aventura”, Sheet LL-1, Site Lighting Plan, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
 - “Park Square Aventura”, Sheet LL-2, Site Lighting Schedule, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
 - “Park Square Aventura”, Sheet LP-1, Landscape Plan, Ground Level, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
 - “Park Square Aventura”, Sheet LP-2, Landscape Plan, Upper Levels, prepared by SavinoMiller Design Studio, dated, signed and sealed 3/3/14.
 - “Park Square Aventura” Sheet 1 of 1, Boundary and Topographic Survey, prepared by Fortin, Leavy, Skiles, Inc., dated 7/14/06, updated 2/25/14.
 - “Park Square Aventura”, Sheet C-2.0, Notes & Specifications, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-3.0, Overall Site Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-3.5, Off Site Signage & Striping Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-4.0, Preliminary Grading & Drainage Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-5.0, Overall Utility Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C.5-1 through C-5.4, Water Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-5.5, Sanitary Sewer Plan, prepared by Langan, dated 3/3/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-9.0, Vehicular Circulation Plan, prepared by Langan, dated 3/5/14, revised 3/12/14, signed and sealed.
 - “Park Square Aventura”, Sheet C-10.0, Easement & Right of Way Dedication Plan, prepared by Langan, dated 12/12/13, revised 3/12/14, signed and sealed.
5. Any discontinuation of the approved conditional use for a period of 180 consecutive days shall constitute abandonment and shall rescind the approval of the conditional use.
6. Prior to issuance of a building permit for the proposed development, the applicant shall:
- (i) provide to the City a recorded copy of a Unity of Title or Covenant in Lieu of Unity of Title, in form satisfactory to the City Manager and City Attorney, to combine all parcels comprising this development into a single building site, and

- (ii) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded copy of the dedication to the City of required widenings for roads and sidewalks around the perimeter of the site, and
 - (iii) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded copy of a Declaration of Restrictive Covenants for use of the shared parking and for operation of a valet service, as presented in the approved plans and studies, and
 - (iv) provide to the City, in form satisfactory to the City Manager and City Attorney, a recorded agreement between the owner and the adjacent property owners to the east and west for installation and maintenance of street trees indicated on the landscape plans, and
 - (v) provide to the City, a recorded copy of this Resolution, and
 - (vi) fulfill all conditions of City of Aventura Resolution No. 2006-61 regarding the abandoned rights of ways and alleys within the development parcel, including payment to the City of the proffered sum of \$750,000.00 as an impact offset for the City's abandonment of these rights of ways and alleys, and
 - (vii) obtain a Public Works Permit from the City's Community Services Department for all planned improvements in the public right of way.
7. Prior to issuance of a Certificate of Occupancy or Temporary Certificate of Occupancy for any of the proposed buildings, the applicant shall:
- (i) provide to the City a recorded copy of all required easements for utilities; and
 - (ii) relocate the gate currently located at the easterly termination of NE 205 Street further to the east into the driveway for the Aventura Turnberry Jewish Center, and
 - (iii) provide to the City a recorded copy of the easement to the owner of the property to the south for the relocated driveway access to its site from NE 205 Street lying within this property, and
 - (iv) complete all roadway improvements, to the satisfaction of the City Manager, on NE 29 Avenue, 30 Avenue, NE 205 Street and NE 207 Street and at the intersections of NE 207 Street and Biscayne Boulevard and NE 209 Street and Biscayne Boulevard, as shown on the approved plans and as described in the approved Traffic Study entitled "Park Square at Aventura" prepared by David Plummer and Associates.

Section 2. Issuance of this development order by the City of Aventura does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Aventura for issuance of the development order if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state and federal permits must be obtained before commencement of the development. This condition is included pursuant to Section 166.033, Florida Statutes, as amended.

Section 3. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Commissioner _____, who moved its adoption. The motion was seconded by Commissioner _____, and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Howard Weinberg	_____
Commissioner Luz Urbáez Weinberg	_____
Mayor Susan Gottlieb	_____

PASSED AND ADOPTED this 1st day of April, 2014.

Susan Gottlieb, Mayor

ATTEST:

TERESA M. SOROKA, MMC
CITY CLERK

APPROVED AS TO LEGAL SUFFICIENCY:

CITY ATTORNEY

This Resolution was filed in the Office of the City Clerk this _____ day of _____, 2014.

CITY CLERK

Exhibit "A" to Resolution No. 2014-__

Legal Description of Property

Parcel 1:

Lots 7 through 42, Block 18, HALLANDALE PARK No.8, including the ten (10) foot alleys that are South of a line 81.00 feet South of and parallel/concentric with the North right-of-way line of Waterways Boulevard, lying within said Block 18, according to the Plat thereof, as recorded in Plat Book 20 at Page 49 of the Public Records of Miami-Dade County, Florida,

AND

Tract 1, LAURANNA, according to the Plat thereof, as recorded in Plat Book 76 at Page 31 of the Public Records of Miami-Dade County, Florida.

AND

(Lands vacated by Resolution No. 2006-61 AS, recorded in OR Book 25093, Page 478, subject to the requirements set forth in said Resolution)

A portion of land bounded by on the North by a line 81.00 feet South of and parallel or concentric with the North line of Waterways Boulevard as shown on AVENTURA CORPORATE CENTER, according to the plat thereof, as recorded in Plat Book 158, Page 47, and bounded on the South by the North line of Block 18, HALLANDALE PARK NO.8, according to the plat thereof, as recorded in Plat Book 20 at Page 49, all being of the Public Records of Miami-Dade County, Florida, lying and being in the City of Aventura and being more particularly described as follows:

Commence at the Southwest corner of Lot 26, of said Block 18; thence N00°56'26"W along the East right of way line of N.E. 29 Avenue as shown on said Plat Book 20 at Page 49, also being the West line of said Block 18 for 76.87 feet to a point of curvature and the most Westerly Northwest corner of said Lot 26, also being the POINT OF BEGINNING of the hereinafter described parcel of land; thence Northeasterly along a 25.00 foot radius curve, leading to the right, through a central angle of 91°06'02" for an arc distance of 39.75 to a point of tangency; thence S 89°50'24" E along the North line of said Block 18 and the Easterly extension thereof for 474.99 feet to a point on a circular curve, concave to the Northeast and whose radius point bears N06°44'26"E, the following two courses being along a line 81.00 feet South of and parallel or concentric with said North line of Waterways Boulevard; (1) thence Northwesterly along a 1519.00 foot radius curve leading to the right, through a central angle of 07°14'58" for an arc distance of 192.20 feet to a point of tangency; (2) thence N76°00'36"W for 290.40 feet to a point of curvature; thence Southwesterly along a 25.00 foot radius curve, leading to

the left, through a central angle of 104°55'50" for an arc distance 45.78 feet to a point of tangency; thence S00°56'26"E along the Northerly extension of the said East right of way line of N.E. 29 Avenue for 104.19 feet to the POINT OF BEGINNING.

AND

That portion of N.E. 206th Street bounded on the North by Block 18 and bounded on the South by the center line of N.E. 206 Street and bounded on the East by the West right-of-way line of N.E. 30 Avenue (East Dixie Highway) and bounded on the West by the East right-of-way line of N.E. 29 Avenue (Harvard Avenue), all being as shown on HALLANDALE PARK No.8, according to the Plat thereof, as recorded in Plat Book 20 at Page 49 of the Public Records of Miami-Dade County, Florida.

Parcel 2:

LOTS 10, 12 through 23, inclusive, and Lots 28 through 42, inclusive, Block 17, HALLANDALE PARK NO.8, according to the plat thereof, as recorded in Plat Book 20, Page 49, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205 Street, to the centerlines thereof, as vacated in Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

AND

Lots 1,2,6, 7, 8,9, 11,24,25,26 and 27, Block 17, HALLANDALE PARK NO.8, according to the plat thereof, as recorded in Plat Book 20, Page 49, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205 Street, to the centerlines thereof, as vacated in Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

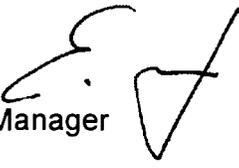
AND

Tract 1, Block 17 of a REPLAT OF A PORTION OF HALLANDALE PARK NO.8, according to the plat thereof, as recorded in Plat Book 40, Page 97, Public Records of Miami-Dade County, Florida, together with those portions of adjacent vacated alleys and NE 205 Street, to the centerlines thereof, vacated per Resolution recorded August 21, 2000 in Official Records Book 19247, Page 4677, Public Records of Miami-Dade County, Florida.

CITY OF AVENTURA
FINANCE DEPARTMENT

MEMORANDUM

TO: City Commission

FROM:  Eric M. Soroka, ICMA-CM, City Manager

BY:  Brian K. Raducci, Finance Director

DATE: February 21, 2014

SUBJECT: Mid-Year Ordinance Amending 2013/14 Budget

1st Reading March 4, 2014 City Commission Meeting Agenda Item 7
2nd Reading April 1, 2014 City Commission Meeting Agenda Item 9

RECOMMENDATION

It is recommended that the City Commission approve the attached Ordinance amending the 2013/14 budget. The total amount of each fund's budget amendment is outlined below.

BACKGROUND

As you are aware, the City normally amends the budget to recognize actual fund balance amounts carried over based on the prior year's audit. In addition, budget amounts are amended to re-appropriate the balances in capital outlay projects which were not 100% complete by the end of the prior fiscal year.

The need to re-appropriate unspent capital accounts and to recognize the actual fund balances at September 30, 2013 to the 2013/14 budget was also discussed in my memorandum dated February 20th which was distributed electronically to the Commission along with the Comprehensive Annual Financial Report.

GENERAL FUND (001) REVENUES/EXPENDITURES – \$857,254

To recognize additional Carryover to fund the items described below.

1. To re-appropriate \$848,759 worth of capital outlay projects which were not 100% complete by the end of the prior fiscal year as follows:
 - a. computer equipment, \$381,510
 - b. equipment – other, \$66,858
 - c. street lighting improvements \$400,391
2. To appropriate \$30,000 for the commission of a piece of art *(this project was approved at the February 4th Commission meeting)*

3. To decrease Non Departmental/Transfers by \$21,505 in order to recognize actual fund balances as explained under the two-related debt service funds, *(found at the end of this memorandum)*, based on the prior year's audit.
-

POLICE EDUCATION FUND (110) REVENUES/EXPENDITURES – \$5,484

To recognize and re-appropriate the actual fund balance amount carried over based on the prior year's audit.

STREET MAINTENANCE FUND (120) REVENUES/EXPENDITURES – \$1,293,315

To recognize additional Carryover to fund the two (2) items described below.

1. To re-appropriate \$100,000 worth of Street Lighting Improvements (e.g., Biscayne Lighting Project – Phase III) which was not 100% complete by the end of the prior fiscal year.
 2. To increase the Capital Reserve by \$1,193,315 in order to recognize additional fund balance amounts to be utilized to fund future capital improvement projects.
-

911 FUND (180) REVENUES/EXPENDITURES – \$63,148

To recognize and re-appropriate the actual fund balance amount carried over based on the prior year's audit.

**DEBT SERVICE FUND SERIES 2010 & 2011 (230) REVENUES – \$0
(Revenue Reclassification of \$12,049 – Net effect is \$0)**

To recognize and re-appropriate the actual fund balance amount carried over based on the prior year's audit and to reduce the transfer from the General Fund, respectively by \$12,049 for a net effect of \$0.

**DEBT SERVICE FUND SERIES 2012, Charter School Land (250) REVENUES – \$0
(Revenue Reclassification of \$9,456 – Net effect is \$0)**

To recognize and re-appropriate the actual fund balance amount carried over based on the prior year's audit and to reduce the transfer from the General Fund, respectively by \$9,456 for a net effect of \$0.

CAPITAL PROJECTS FUND 392 REVENUES/EXPENDITURES – \$160,824

1. To recognize and re-appropriate the actual fund balance amount that existed at end of the prior fiscal year that resulted from the collection of \$160,824 worth of impact fees (\$140,933 for Parks and \$19,891 for Police) and;
2. To adjust the current fiscal year budget for the timing difference related to the sale of City land on Biscayne Boulevard (\$1M), which was originally anticipated to occur during FY 2012/13.

If you should have any questions related to this memorandum, please feel free to contact the City Manager.

BKR/bkr

FY 2013/14 Budget Amendments

GENERAL FUND (001)

Revenues

Non-Revenue				
3999000	Carryover	\$ 16,768,640	\$ 857,254	\$ 17,625,894
	SUBTOTAL	\$ 16,768,640	\$ 857,254	\$ 17,625,894
	Total Amendments - Revenues		\$ 857,254	

Expenditures

Capital Outlay/Information Technology (8012-513)				
6401	Computer Equipment >\$5,000	\$ 227,400	\$ 217,500	\$ 444,900
	SUBTOTAL	\$ 227,400	\$ 217,500	\$ 444,900

Capital Outlay/Public Safety (8020-521)				
6401	Computer Equipment >\$5,000	\$ 338,490	\$ 1,510	\$ 340,000
6402	Computer Equipment <\$5,000	265,882	72,500	338,382
6405	E911 Equipment	165,000	52,000	217,000
	SUBTOTAL	\$ 769,372	\$ 126,010	\$ 895,382

Capital Outlay/Community Development (8040-524)				
6402	Computer Equipment <\$5,000	\$ 4,000	\$ 90,000	\$ 94,000
	SUBTOTAL	\$ 4,000	\$ 90,000	\$ 94,000

Capital Outlay/Community Services (8050-539/541)				
6307	Street Lighting Improv.	\$ 1,000,000	\$ 400,391	\$ 1,400,391
	SUBTOTAL	\$ 1,000,000	\$ 400,391	\$ 1,400,391

Arts & Cultural Center - (8070-575)				
6410	Equipment >\$5,000	\$ 15,200	\$ 14,858	\$ 30,058
	SUBTOTAL	\$ 15,200	\$ 14,858	\$ 30,058

Non-Departmental - (8090-590)				
6454	Art in Public Places	\$ -	\$ 30,000	\$ 30,000
	SUBTOTAL	\$ -	\$ 30,000	\$ 30,000

Non Departmental/Transfers (9001-581)				
9123	Transfer to 1999 Debt Service Fund (230)	\$ 1,206,428	\$ (12,049)	\$ 1,194,379
9125	Transfer to 2012 Debt Service Fund (250)	403,364	(9,456)	393,908
	SUBTOTAL	\$ 1,609,792	\$ (21,505)	\$ 1,588,287

	Total Amendments - Expenditures		\$ 857,254	
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POLICE EDUCATION FUND (110)

Revenues

	<u>Non-Revenue</u>			
3999000	Carryover	\$ 4,000	\$ 5,484	\$ 9,484
	SUBTOTAL	\$ 4,000	\$ 5,484	\$ 9,484
	Total Amendments - Revenues		\$ 5,484	

Expenditures

	<u>Public Safety (2001-521)</u>			
5450	Training	\$ 11,000	\$ 5,484	\$ 16,484
	SUBTOTAL	\$ 11,000	\$ 5,484	\$ 16,484
	Total Amendments - Expenditures		\$ 5,484	

TRANSPORTATION AND STREET MAINTENANCE FUND (120)

Revenues

	<u>Non-Revenue</u>			
3999000	Carryover	\$ 293,302	\$ 1,293,315	\$ 1,586,617
	SUBTOTAL	\$ 293,302	\$ 1,293,315	\$ 1,586,617
	Total Amendments - Revenues		\$ 1,293,315	

Expenditures

	<u>Community Services (5001-541)</u>			
6307	Street Lighting Improv.	\$ -	\$ 100,000	\$ 100,000
6999	Capital Reserve	165,500	1,193,315	1,358,815
	SUBTOTAL	\$ 165,500	\$ 1,293,315	\$ 1,458,815
	Total Amendments - Expenditures		\$ 1,293,315	

911 FUND (180)

Revenues

	<u>Non-Revenue</u>			
3999000	Carryover	\$ 40,900	\$ 63,148	\$ 104,048
	SUBTOTAL	\$ 40,900	\$ 63,148	\$ 104,048
	Total Amendments - Revenues		\$ 63,148	

Expenditures

	<u>Public Safety (2001-521)</u>			
6999	Capital Reserve	\$ -	\$ 63,148	\$ 63,148
	SUBTOTAL	\$ -	\$ 63,148	\$ 63,148
	Total Amendments - Expenditures		\$ 63,148	

**DEBT SERVICE FUND
SERIES 2010 & 2011 (230)**

Revenues

<u>Non-Revenue</u>			
3811001 Transfer from General Fund	\$ 1,206,428	\$ (12,049)	\$ 1,194,379
3999000 Carryover	-	12,049	12,049
SUBTOTAL	\$ 1,206,428	\$ -	\$ 1,206,428
Total Amendments - Revenues	\$ -		

**DEBT SERVICE FUND
SERIES 2012 CHARTER SCHOOL LAND ACQUISITION (250)**

Revenues

<u>Non-Revenue</u>			
3811001 Transfer from General Fund	\$ 403,364	\$ (9,456)	\$ 393,908
3999000 Carryover	-	9,456	9,456
SUBTOTAL	\$ 403,364	\$ -	\$ 403,364
Total Amendments - Revenues	\$ -		

CAPITAL PROJECTS FUND (392)

Revenues

<u>Non-Revenue</u>			
3644300 Sale of Land	\$ -	\$ 1,000,000	\$ 1,000,000
3999000 Carryover - Parks	1,000,000	(859,067)	140,933
3999000 Carryover - Police	-	19,891	19,891
SUBTOTAL	\$ 1,000,000	\$ 160,824	\$ 1,160,824
Total Amendments - Revenues	\$ 160,824		

Expenditures

<u>Public Safety (2001-521)</u>			
6999 Capital Reserve	\$ 780,000	\$ 160,824	\$ 940,824
SUBTOTAL	\$ 780,000	\$ 160,824	\$ 940,824
Total Amendments - Expenditures	\$ 160,824		

ORDINANCE NO. 2014-__

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, AMENDING ORDINANCE NO. 2013-04 WHICH ORDINANCE ADOPTED A BUDGET FOR THE 2013/2014 FISCAL YEAR BY REVISING THE 2013/2014 FISCAL YEAR OPERATING AND CAPITAL BUDGET AS OUTLINED IN EXHIBIT "A" ATTACHED HERETO; AUTHORIZING THE CITY MANAGER TO DO ALL THINGS NECESSARY TO CARRY OUT THE AIMS OF THIS ORDINANCE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, upon the periodic review and analysis of current budgetary commitments and obligations, and based upon the projected needs and requirements of the City and upon the recommendations of the City Manager (and the concurrence of the Finance Director as to Accounting Principles), it is deemed necessary to adjust, amend and implement the 2013/2014 Operating and Capital Budget as set forth in Exhibit "A" attached hereto and made a part hereof.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF AVENTURA, FLORIDA, AS FOLLOWS:

Section 1. The recitals contained in the preamble to this Ordinance are incorporated by reference herein.

Section 2. The City Commission hereby authorizes the amendment of Ordinance No. 2013-04, which Ordinance adopted a budget for the 2013/2014 fiscal year, by revising the 2013/2014 budget as set forth on the attached Exhibit "A" which exhibits are deemed incorporated by reference as though set forth in full herein.

Section 3. The City Manager is hereby authorized to do all things necessary to carry out the aims of this Ordinance.

Section 4. Effective Date. This Ordinance shall be effective immediately upon adoption on second reading and shall be applicable retroactively from and after October 1, 2013.

The foregoing Ordinance was offered by Commissioner ____, who moved its adoption on first reading. This motion was seconded by Commissioner ____, and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Luz Urbáez Weinberg	_____
Vice Mayor Howard Weinberg	_____
Mayor Susan Gottlieb	_____

The foregoing Ordinance was offered by Commissioner ____, who moved its adoption on second reading. This motion was seconded by Commissioner ____ and upon being put to a vote, the vote was as follows:

Commissioner Enbar Cohen	_____
Commissioner Teri Holzberg	_____
Commissioner Billy Joel	_____
Commissioner Michael Stern	_____
Commissioner Howard Weinberg	_____
Commissioner Luz Urbáez Weinberg	_____
Mayor Susan Gottlieb	_____

PASSED AND ADOPTED on first reading this 4th day of March, 2014.

PASSED AND ADOPTED on second reading this 1st day of April, 2014.

SUSAN GOTTLIEB, MAYOR

TERESA M. SOROKA, MMC
CITY CLERK

APPROVED AS TO LEGAL SUFFICIENCY:

CITY ATTORNEY